

PROPOSED SITE PLAN DOCUMENTS

FOR

98 BEACON STREET LLC PROPOSED REDEVELOPMENT

LOCATION OF SITE:
98 BEACON STREET, CITY OF WORCESTER
WORCESTER COUNTY, MASSACHUSETTS
MAP 3, LOTS 1A & 8
MAP 6, LOTS 4B & 19

REFERENCES

BOUNDARY & TOPOGRAPHIC SURVEY:
CONTROL POINT ASSOCIATES
352 TURNPIKE ROAD, SOUTHBOROUGH, MA
01772
DATE: 11/16/2021

*THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	4/28/2023	ZBA COMMENTS	OCR
2	2/15/2024	PLANNING BOARD SUBMISSION	OCR



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ALWAYS CALL 811
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PROJECT No.: MAA220072.00
DRAWN BY: OCR / CSE
CHECKED BY: MMA
DATE: 03/03/2023
CAD ID: MAA220072.00-SPPD-2A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

98 BEACON STREET LLC

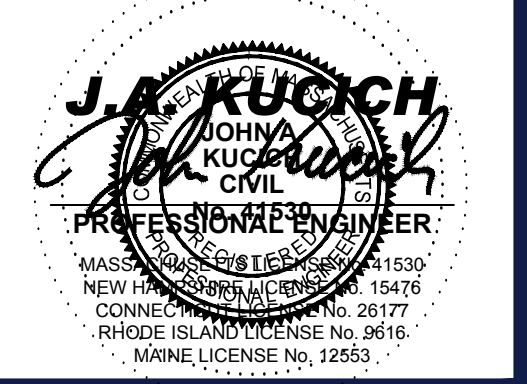
PROPOSED DEVELOPMENT

MAP: 3 LOT: 1A & 8
BEACON STREET,
CITY OF WORCESTER,
WORCESTER COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com



SHEET TITLE:

COVER SHEET

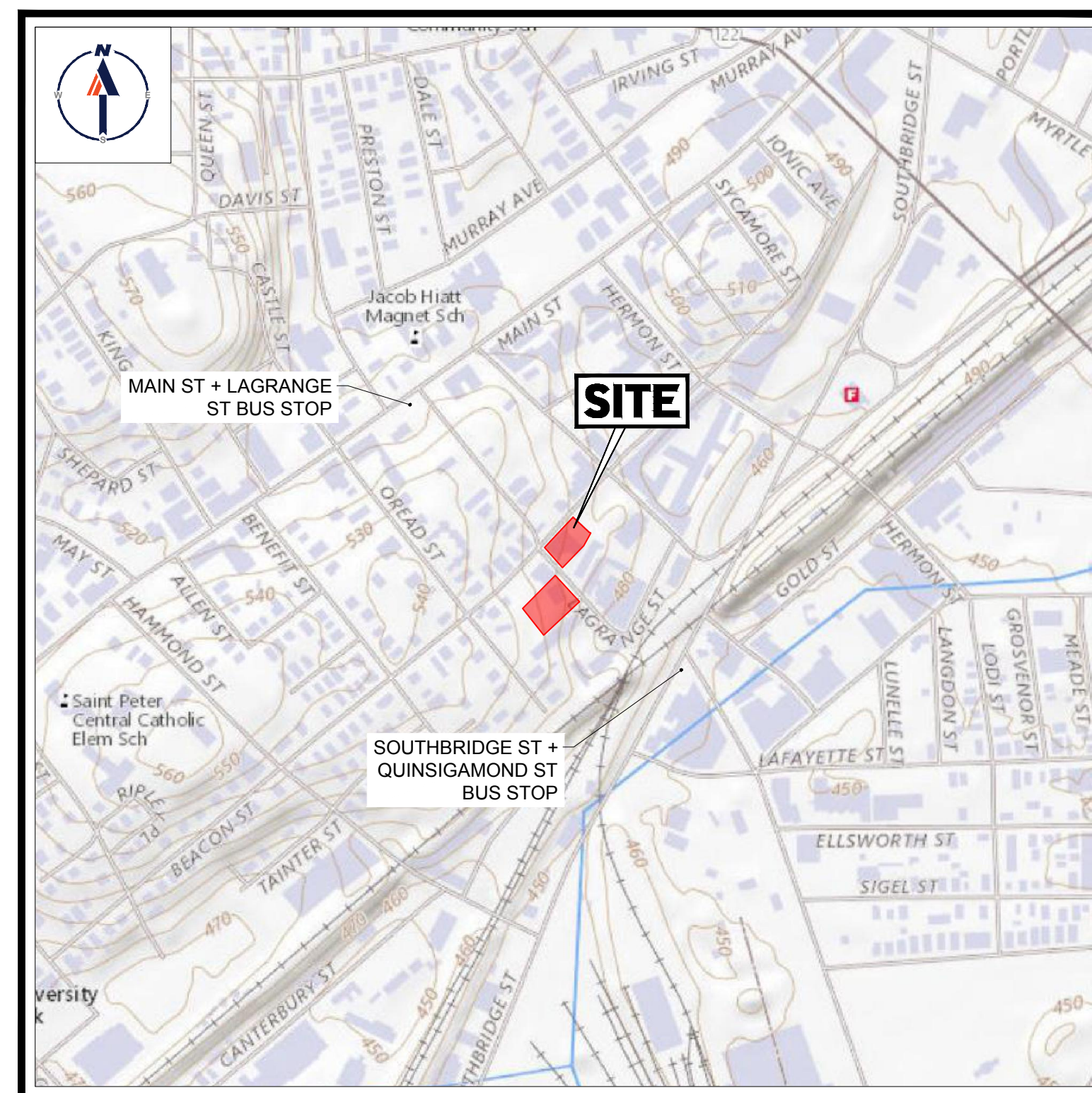
SHEET NUMBER:

C-101

REVISION 2 - 2/15/2024

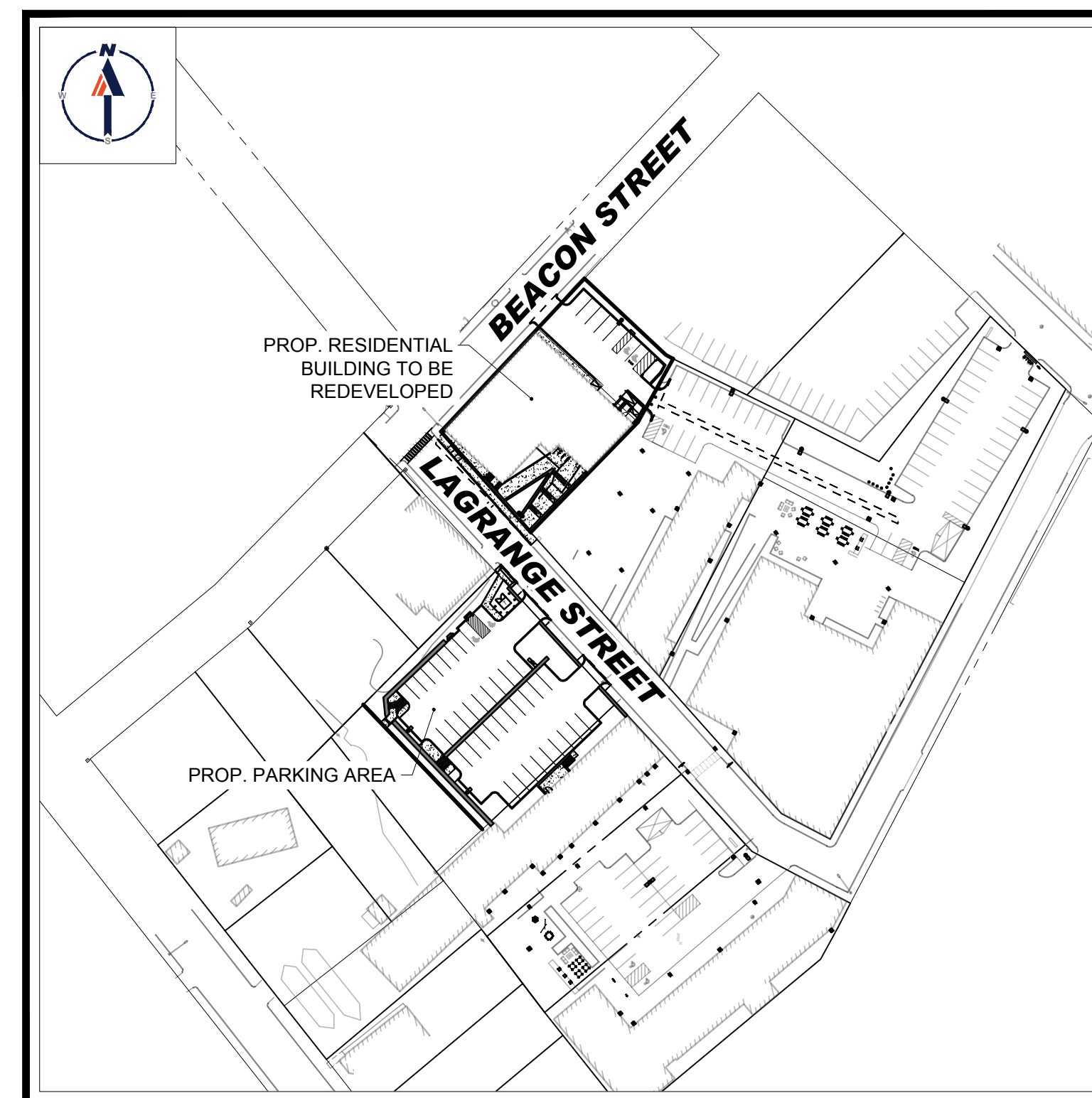
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LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
BOUNDARY & TOPOGRAPHIC SURVEY	3 SHEETS



USGS MAP

SCALE: 1" = 500'
SOURCE: USGS



SITE MAP

SCALE: 1" = 100'

PREPARED BY

BOHLER

GENERAL NOTES

- 1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING... 2. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS... 3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD... 4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED... 5. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS... 6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING... 7. THE CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL BUILDING PLANS... 8. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS... 9. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES... 10. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES... 11. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY... 12. THE ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS... 13. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING... 14. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT... 15. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE... 16. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES... 17. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY... 18. THE ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS... 19. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED... 20. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT... 21. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE... 22. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES... 23. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKERS COMPENSATION... 24. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACTED WITH THE OWNER/DEVELOPER... 25. THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT... 26. THE CONTRACTOR MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES... 27. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES... 28. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE... 29. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS... 30. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS... 31. THE CONTRACTOR MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES... 32. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL... 33. WHEN RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH... 34. CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS...

GENERAL DEMOLITION NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS... 2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS... 3. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY... 4. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ANY CONDITIONS... 4.1. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING THE DEMOLITION ACTIVITIES... 5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE... 6. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION... 7. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY... 8. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY... 9. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS... 10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST... 10.1. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW... 10.2. NOTIFY AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION... 10.3. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES... 10.4. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM... 10.5. LOCATE AND PROTECT ALL UTILITIES AND SERVICES... 10.6. THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS... 11. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE... 12. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB AND HAVE NO CONTRACTUAL, LEGAL, OR ANY OTHER RESPONSIBILITIES... 13. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER... 14. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB AND HAVE NO CONTRACTUAL, LEGAL, OR ANY OTHER RESPONSIBILITIES... 15. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES... 16. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER... 17. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB AND HAVE NO CONTRACTUAL, LEGAL, OR ANY OTHER RESPONSIBILITIES... 18. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER... 19. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES... 20. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT PLAN... 21. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM OR INCIDENTAL TO DEMOLITION ACTIVITIES... 22. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES... 23. THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS... 24. EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION... 25. THE CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED... 26. THE CONTRACTOR SHALL REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED... 27. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACTED WITH THE OWNER/DEVELOPER... 28. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES... 29. THE CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED... 30. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS... 31. THE CONTRACTOR MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES... 32. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL... 33. WHEN RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH... 34. CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS...

GENERAL GRADING NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS... 2. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS... 3. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS... 4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS... 5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS... 6. IN THE EVENT OF A DISCREPANCY(IES) AND/OR CONFLICT(S) BETWEEN THESE PLANS, OR RELATIVE TO OTHER PLANS... 7. THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING... 8. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVED GRADE UNLESS OTHERWISE NOTED... 9. THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES... 10. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL ELEVATIONS... 11. MSE OR GRANULAR BLOCK WALLS SHALL BE CONSTRUCTED SUCH THAT UPON COMPLETION OF CONSTRUCTION... 12. STORMWATER RUNOFF WITHIN PROPERTY MUST BE COLLECTED ON-SITE WITH NO OVERLAND RUNOFF... 13. BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS... 14. FOR ALL RETAINING WALLS (USE CLASS 3), ALL OTHER OFFICES USE A FEET OR GREATER IN HEIGHT... 15. THE OWNER OR THE ENGINEERS CONTRACTOR SHALL PROVIDE ALL DESIGN PERMITS... 16. THE CONTRACTOR SHALL INSTALL CONCOURSE CURB ALONG FACE OF BUILDING/WALL AS SHOWN TO PROVIDE CONSISTENT WITH ALONG LENGTH... 17. CONTRACTOR SHALL REVIEW RETAINING WALL LOCATIONS VERSUS APPLICABLE STATE AND LOCAL CODES... 18. CONTRACTOR SHALL COORDINATE WITH OWNER/PROVIDER TO REVIEW EXISTING DRAINAGES WITHIN EXISTING PAVEMENT AREAS... 19. BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS... 20. UNLESS CLEARLY INDICATED OTHERWISE, ALL STORM PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT/SILT/LIGHT JOINTS... 21. UNLESS CLEARLY INDICATED OTHERWISE, ALL SANITARY PIPE MUST BE... 22. UNLESS CLEARLY INDICATED OTHERWISE, ALL POLYVINYL CHLORIDE (PVC) PIPE SHALL BE... 23. UNLESS CLEARLY INDICATED OTHERWISE, ALL POLYVINYL CHLORIDE (PVC) PIPE SHALL BE... 24. FOR ALL UTILITY PIPING (INCLUDING DRAIN) WITHIN 10' OF A BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE LOCAL OR STATE BUILDING... 25. CONTRACTOR SHALL VERIFY THE CONNECTION OF EXTERIOR PIPING TO ANY FUTURES... 26. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY... 27. GAS METERS MUST BE PROTECTED AS REQUIRED BY THE JURISDICTIONAL CODES AND REGULATIONS.

ADA INSTRUCTIONS TO CONTRACTOR:

- 1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT (ADA) CODE OF FEDERAL REGULATIONS (CFR) 28 PART 36, AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES AND ANY AND ALL AMENDMENTS AND/OR SUPPLEMENTAL REGULATIONS... 2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES... 3.1. ACCESSIBLE PARKING SPACES AND ACCESSIBLE SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION... 3.2. PATH OF TRAVEL ALONG ACCESSIBLE ROUTES MUST PROVIDE A 36-INCHES MINIMUM WIDTH... 3.3. AGENCY UNSTRUCTURED WIDTH OF TRAVEL (CAR OVERHANDS AND HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH... 3.4. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.33%), WHERE FLARED CURBS ARE PROVIDED... 3.5. DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL... 3.6. IN ADDITION TO THE ABOVE, THE CONTRACTOR MUST ALSO ENSURE THAT ALL ACCESSIBLE COMPONENTS AND ACCESSIBLE ROUTES ARE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS 921 CMR...

BOHLER ENGINEERING logo and contact information: 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772. Phone: (508) 480-9900. www.BohlerEngineering.com

REVISIONS

Table with columns: REV, DATE, COMMENT. Row 1: 1, 4/28/2024, ZBA COMMENTS. Row 2: 2, 2/15/2024, PLANNING BOARD SUBMISSION.

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ABBREVIATIONS

Table mapping symbols to descriptions: KEY DESCRIPTION, AG/ABVG ABOVE GROUND, ARCH ARCHITECT, BC BACK OF CURB, BCC BITUMINOUS CONCRETE CURB, BM BENCHMARK, BOC BOTTOM OF CURB, BW BOTTOM OF WALL, BLDG BUILDING, CC CONCRETE CURB, CCB CAPE COD BERM, CONC CONCRETE, DEC DECORATIVE, DEG DEGREE, DEP DEPRESSED, D/P DIA DIAMETER, DMH DRAIN MANHOLE, DIP DUCTILE IRON PIPE, ECC EXTRUDED CONCRETE CURB, ELEV EDGE OF PAVEMENT, EOP ELEVATION, EXST EXISTING, FF FINISH FLOOR, FF1 FINISH FLOOR ELEVATION, GRT GENERAL CONTRACTOR, GRG GRATE, HD HIGH DENSITY POLYETHYLENE PIPE, HP HIGH POINT, INT INTERSECTION, INV INVERT, L.S.A. LANDSCAPE AREA, LOD LIMIT OF DISTURBANCE, LOW LIMIT OF WORK, LF LINEAR FOOT / FEET, LP LOW POINT, MAX MAXIMUM, MEC MECHANICAL ELECTRICAL, MEP MECHANICAL PLUMBING, MEE MEET OR MATCH EXISTING, MIN MINIMUM, # # NUMBER, P OR M PLUS OR MINUS, PC POINT OF CURVATURE, PI POINT OF INTERSECTION, PT POINT OF TANGENCY, PVI POINT OF VERTICAL INTERSECTION, PVC POLYVINYL CHLORIDE PIPE, PROP. PROPOSED, RADIUS OR RADI, RCP REINFORCED CONCRETE PIPE, SEC SCHEDULED, R.O.W. RIGHT-OF-WAY, SAN SANITARY, SMH SEWER MANHOLE, S SLOPE, SQ SQUARE FOOT, SGC GRANITE CURB, STA STATIONING, STM STORM, TB TO BE REMOVED, TB/R TO BE REMOVED AND REPLACED, TOP OF CURB, TW TOP OF WALL, TPF TREE PROTECTION FENCE, TRANS TRANSITION, TYPICAL IN FIELD, U/L UNDERGROUND, V.I.F. VERTICAL INTERSECTION, VGC VERTICAL GRANITE CURB, W WIDTH

PERMIT SET

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PROJECT No.: MA220072-02 DRAWN BY: OCR / CSE CHECKED BY: MMA APPROX. LIMIT OF WORK OR DISTURBANCE: MA220072-00-SP3D-24 CAD: MMA PROJECT: 98 BEACON STREET LLC

PROPOSED SITE PLAN DOCUMENTS

FOR 98 BEACON STREET LLC PROPOSED DEVELOPMENT MAP: 3 LOT: 1A & 8 BEACON STREET CITY OF WORCESTER, WORCESTER COUNTY, MASSACHUSETTS

BOHLER ENGINEERING logo and contact information: 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772. Phone: (508) 480-9900. www.BohlerEngineering.com

REFER TO SITE LAYOUT PLAN FOR ZONING ANALYSIS TABLE AND LAND USE / ZONING INFORMATION & NOTES

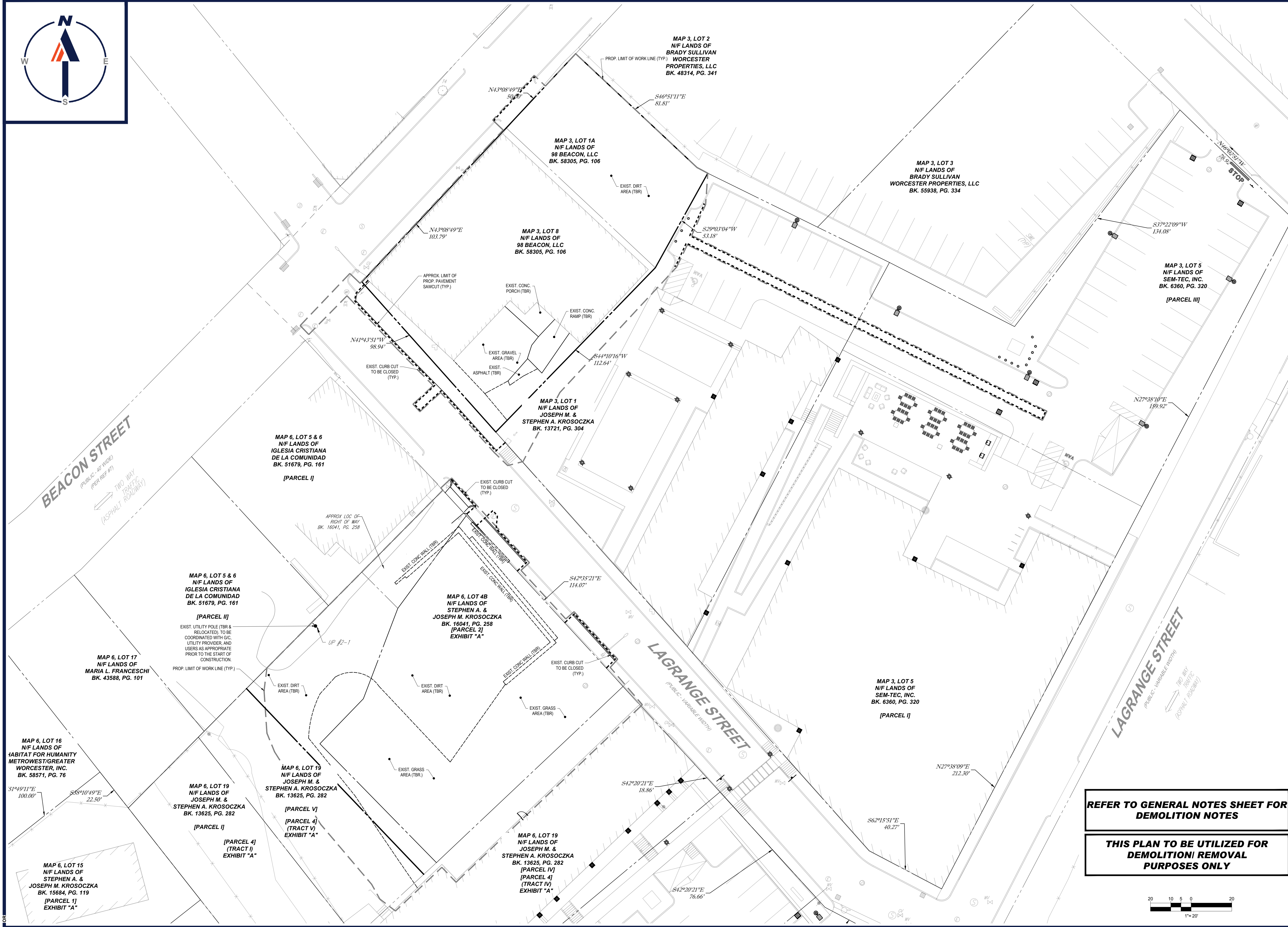
REFER TO EROSION AND SEDIMENT CONTROL NOTES & DETAILS SHEET FOR TYPICAL EROSION NOTES AND DETAILS

REFER TO LANDSCAPE NOTES & DETAILS SHEET FOR TYPICAL LANDSCAPE NOTES AND DETAILS

REFER TO LIGHTING PLAN FOR TYPICAL LIGHTING NOTES AND TABLES

J. KUCICH Professional Engineer logo and contact information: 240 STATE ST. NEW HAVEN, CT 06510. Phone: (203) 539-1576. MAINE LICENSE NO. 12553.

REVISION 2 - 2/15/2024



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	4/28/2023	ZBA COMMENTS	OCR	MMA
2	2/15/2024	PLANNING BOARD SUBMISSION	OCR	MMA

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 DATE: 03/03/2023
 CAD ID: MAA220072.00-SPPD-2A

PROPOSED SITE PLAN DOCUMENTS

FOR

98 BEACON STREET LLC

PROPOSED DEVELOPMENT

MAP: 3 LOT: 1A & 8
 BEACON STREET,
 CITY OF WORCESTER,
 WORCESTER COUNTY,
 MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900

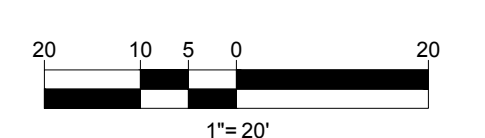
www.BohlerEngineering.com

J.A. KUCICH
 OHIO REGISTERED CIVIL ENGINEER
 PROFESSIONAL SEAL

MAINE LICENSE NO. 15130
 NEW HAMPSHIRE LICENSE NO. 15476
 CONNECTICUT LICENSE NO. 26177
 PHONE: (508) 480-9900
 MAINE LICENSE NO. 12553

REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY



SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

C-201

REVISION 2 - 2/15/2024

P:\2022\MAA220072.00\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLAN\MAA220072.00-SPPD-2A.dwg LAYOUT: C-201.DWG



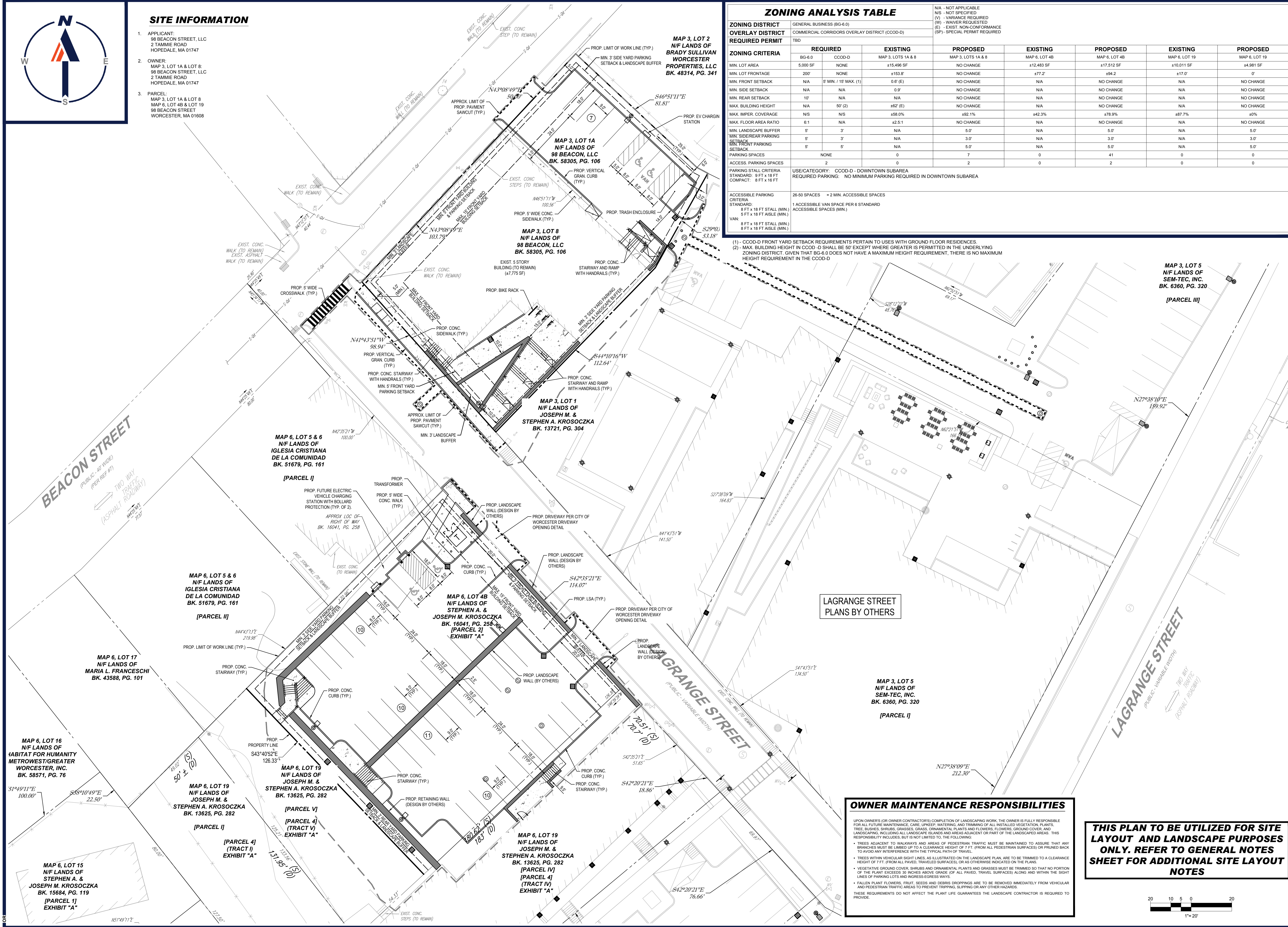
SITE INFORMATION

- APPLICANT:
98 BEACON STREET, LLC
2 TAMMIE ROAD
HOPEDALE, MA 01747
- OWNER:
MAP 3, LOT 1A & LOT 8:
98 BEACON STREET, LLC
2 TAMMIE ROAD
HOPEDALE, MA 01747
- PARCEL:
MAP 3, LOT 1A & LOT 8
MAP 6, LOT 4B & LOT 19
98 BEACON STREET
WORCESTER, MA 01608

ZONING ANALYSIS TABLE		GENERAL BUSINESS (BG-6.0)		COMMERCIAL CORRIDORS OVERLAY DISTRICT (CCOD-D)		TBD	
ZONING DISTRICT	OVERLAY DISTRICT	REQUIRED PERMIT	REQUIRED	EXISTING	PROPOSED	EXISTING	PROPOSED
BG-6.0	CCOD-D	MAP 3, LOTS 1A & 8	MAP 3, LOTS 1A & 8	MAP 6, LOT 4B	MAP 6, LOT 19	MAP 6, LOT 19	
MIN. LOT AREA	5,000 SF	NONE	±15,496 SF	±12,483 SF	±10,011 SF	±4,981 SF	
MIN. LOT FRONTAGE	200'	NONE	±153.8'	NO CHANGE	±77.2'	0'	
MIN. FRONT SETBACK	N/A	5' MIN. / 15' MAX. (1)	0.0' (E)	NO CHANGE	N/A	NO CHANGE	
MIN. SIDE SETBACK	N/A	N/A	0.0'	NO CHANGE	N/A	NO CHANGE	
MIN. REAR SETBACK	10'	N/A	N/A	NO CHANGE	N/A	NO CHANGE	
MAX. BUILDING HEIGHT	N/A	50' (2)	±62' (E)	NO CHANGE	N/A	NO CHANGE	
MAX. IMPER. COVERAGE	N/A	N/A	±58.0%	±92.1%	±42.3%	±87.7%	±0%
MAX. FLOOR AREA RATIO	6.1	N/A	±2.5:1	NO CHANGE	N/A	NO CHANGE	
MIN. LANDSCAPE BUFFER	5'	3'	N/A	5.0'	N/A	5.0'	
MIN. SIDE/REAR PARKING SETBACK	5'	3'	N/A	3.0'	N/A	3.0'	
MIN. FRONT PARKING SETBACK	5'	5'	N/A	5.0'	N/A	5.0'	
PARKING SPACES	NONE	0	7	0	41	0	
ACCESS: PARKING SPACES	2	0	2	0	0	0	
PARKING STALL CRITERIA STANDARD:	9 FT x 18 FT COMPACT:	8 FT x 16 FT	USE/CATEGORY: CCOD-D - DOWNTOWN SUBAREA	REQUIRED PARKING: NO MINIMUM PARKING REQUIRED IN DOWNTOWN SUBAREA			
ACCESSIBLE PARKING CRITERIA STANDARD:	26-50 SPACES = 2 MIN. ACCESSIBLE SPACES	1 ACCESSIBLE VAN SPACE PER 6 STANDARD ACCESSIBLE SPACES (MIN.)					

N/A - NOT APPLICABLE
 NS - NOT SPECIFIED
 (V) - VARIANCE REQUIRED
 (W) - WAIVER REQUESTED
 (E) - EXIST. NON-COMFORMANCE
 (SP) - SPECIAL PERMIT REQUIRED

(1) - CCOD-D FRONT YARD SETBACK REQUIREMENTS PERTAIN TO USES WITH GROUND FLOOR RESIDENCES.
 (2) - MAX. BUILDING HEIGHT IN CCOD-D SHALL BE 50' EXCEPT WHERE GREATER IS PERMITTED IN THE UNDERLYING ZONING DISTRICT. GIVEN THAT BG-6.0 DOES NOT HAVE A MAXIMUM HEIGHT REQUIREMENT, THERE IS NO MAXIMUM HEIGHT REQUIREMENT IN THE CCOD-D



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 SITE CIVIL AND CONSULTING ENGINEERING
 PROJECT MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	4/28/2023	ZBA COMMENTS	OCR
2	2/15/2024	PLANNING BOARD SUBMISSION	OCR

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PROJECT No.: MAA220072.00
 DRAWN BY: OCR / CSE
 CHECKED BY: MMA
 DATE: 03/03/2023
 CAD LD.: MAA220072.00-SPPD-2A

PROPOSED SITE PLAN DOCUMENTS

FOR

98 BEACON STREET LLC

PROPOSED DEVELOPMENT
 MAP 3, LOT: 1A & 8
 BEACON STREET,
 CITY OF WORCESTER,
 WORCESTER COUNTY,
 MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 www.BohlerEngineering.com

J.A. KUCICH
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 PROFESSIONAL ENGINEER
 MAINE LICENSE NO. 15476
 NEW HAMPSHIRE LICENSE NO. 15476
 CONNECTICUT LICENSE NO. 20177
 PHONE ISLAND LICENSE NO. 9616
 MAINE LICENSE NO. 12553

SHEET TITLE:
SITE LAYOUT PLAN

SHEET NUMBER:
C-301

REVISION 2 - 2/15/2024

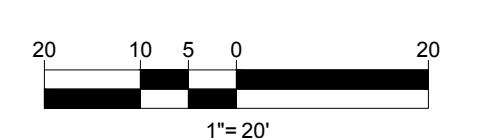
OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREES, BUSHES, SHRUBS, GRASSES, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

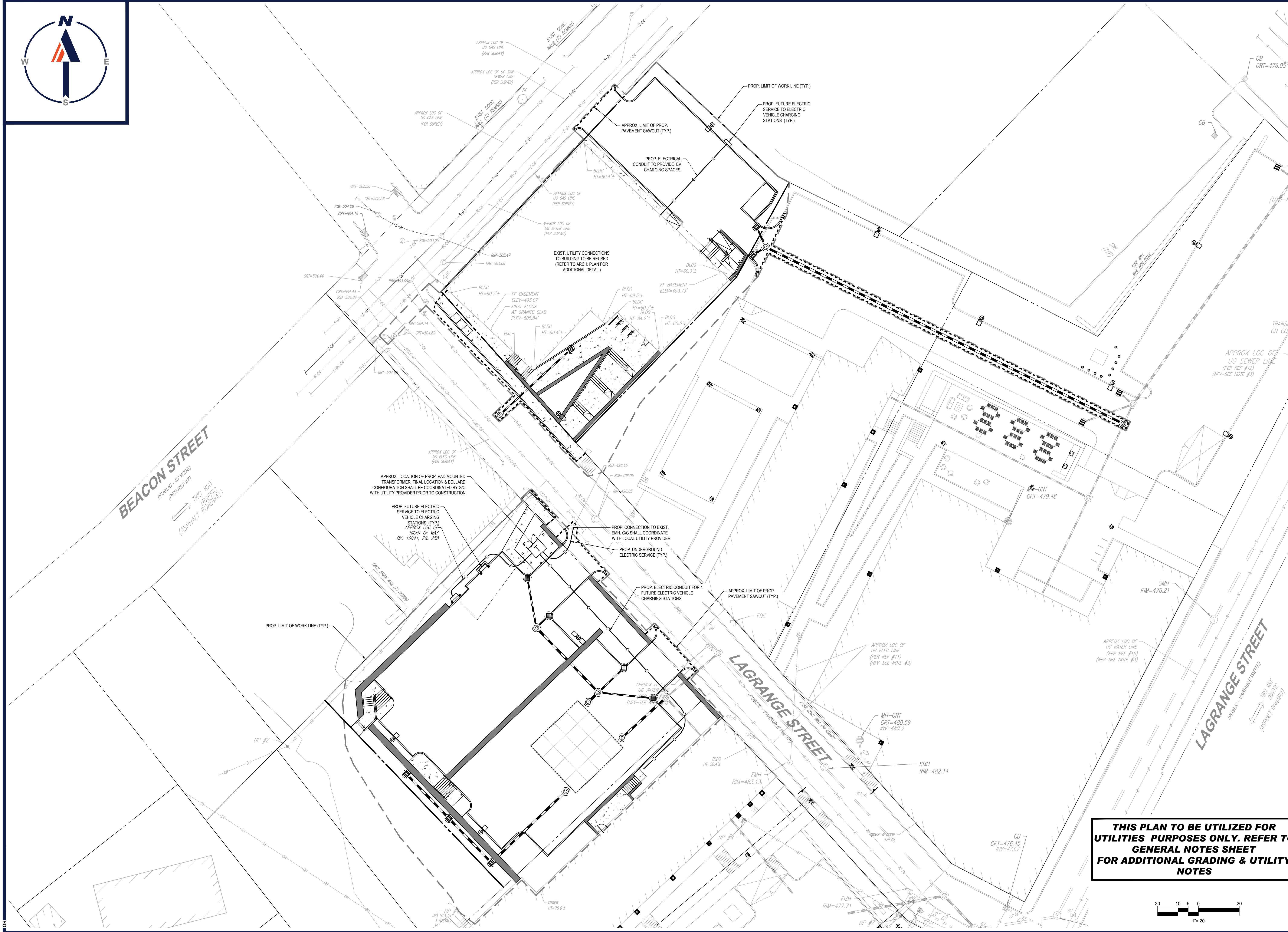
- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES) OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVELED SURFACES ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT AND LANDSCAPE PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL SITE LAYOUT NOTES



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 SITE CIVIL AND CONSULTING ENGINEERING
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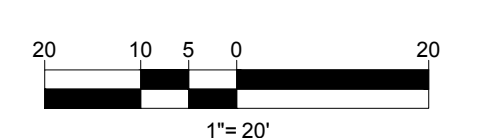
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SHEET TITLE:
UTILITY PLAN

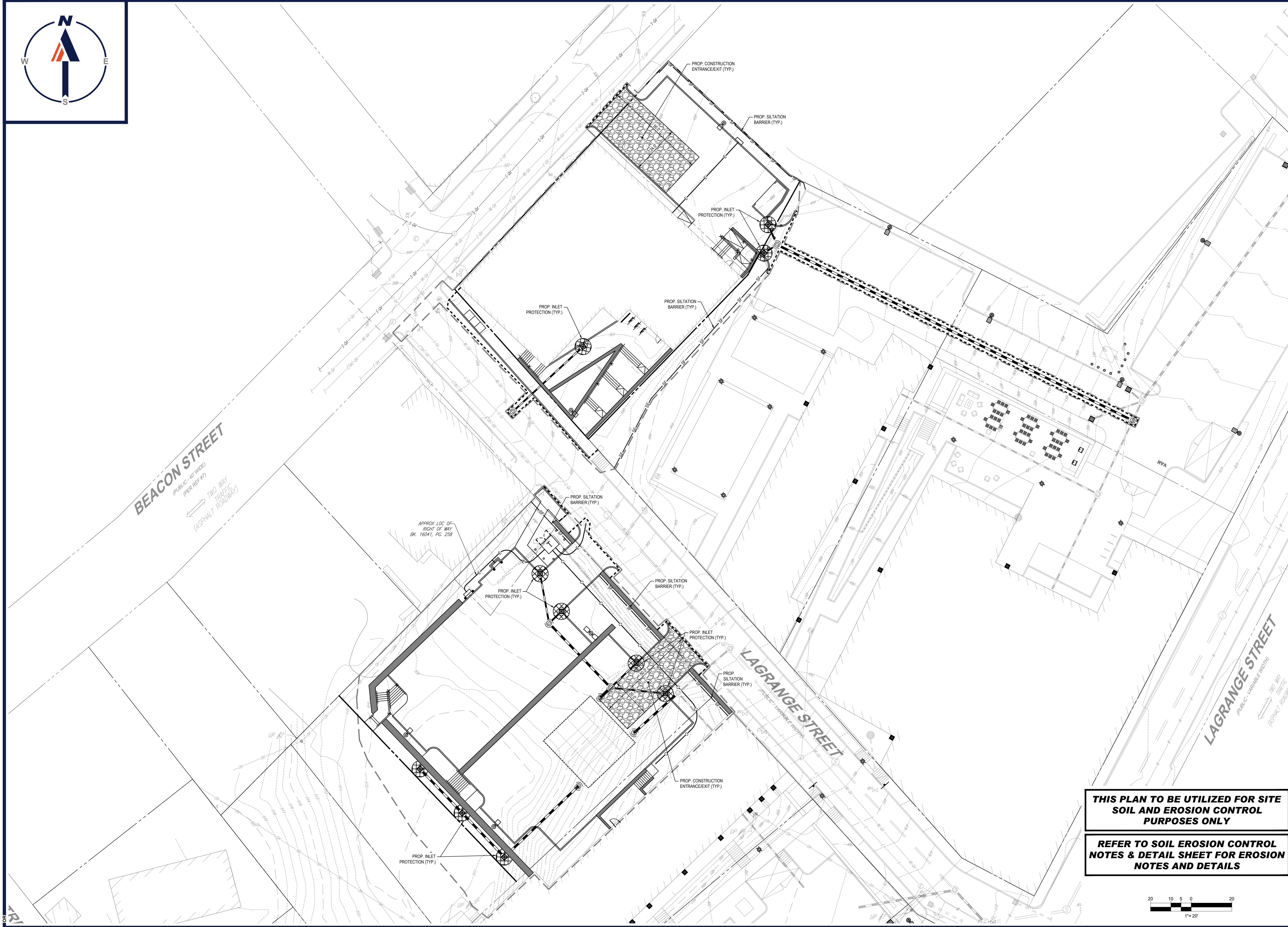
SHEET NUMBER:
C-501

REVISION 2 - 2/15/2024

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES



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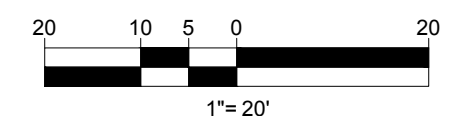
BEACON STREET
 (PUBLIC - 40' WIDE)
 TWO WAY TRAFFIC
 (ASPHALT ROADWAY)

LAGRANGE STREET
 (PUBLIC - VARIABLE WIDTH)
 TWO WAY TRAFFIC
 (ASPHALT ROADWAY)

APPROX LOC. OF
 RIGHT OF WAY
 BK. 16041, PG. 258

**THIS PLAN TO BE UTILIZED FOR SITE
 SOIL AND EROSION CONTROL
 PURPOSES ONLY**

**REFER TO SOIL EROSION CONTROL
 NOTES & DETAIL SHEET FOR EROSION
 NOTES AND DETAILS**



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 MAINE LICENSE No. 12553

SHEET TITLE:
**SOIL EROSION
 & SEDIMENT
 CONTROL PLAN**

SHEET NUMBER:
C-601

REVISION 2 - 2/15/2024

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EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (188 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOIL MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOIL ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

LOCATION PROTECTED AREA	MULCH STRAW	MULCH RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

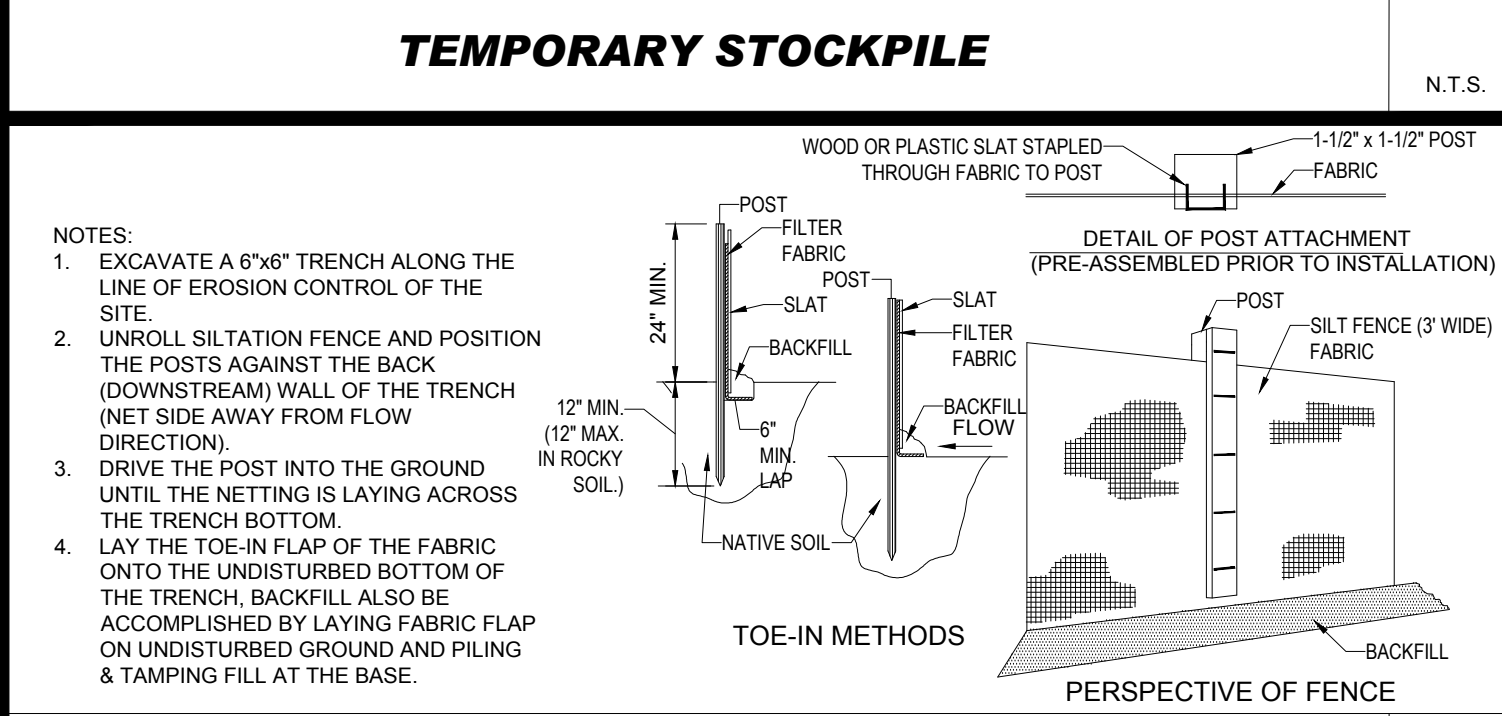
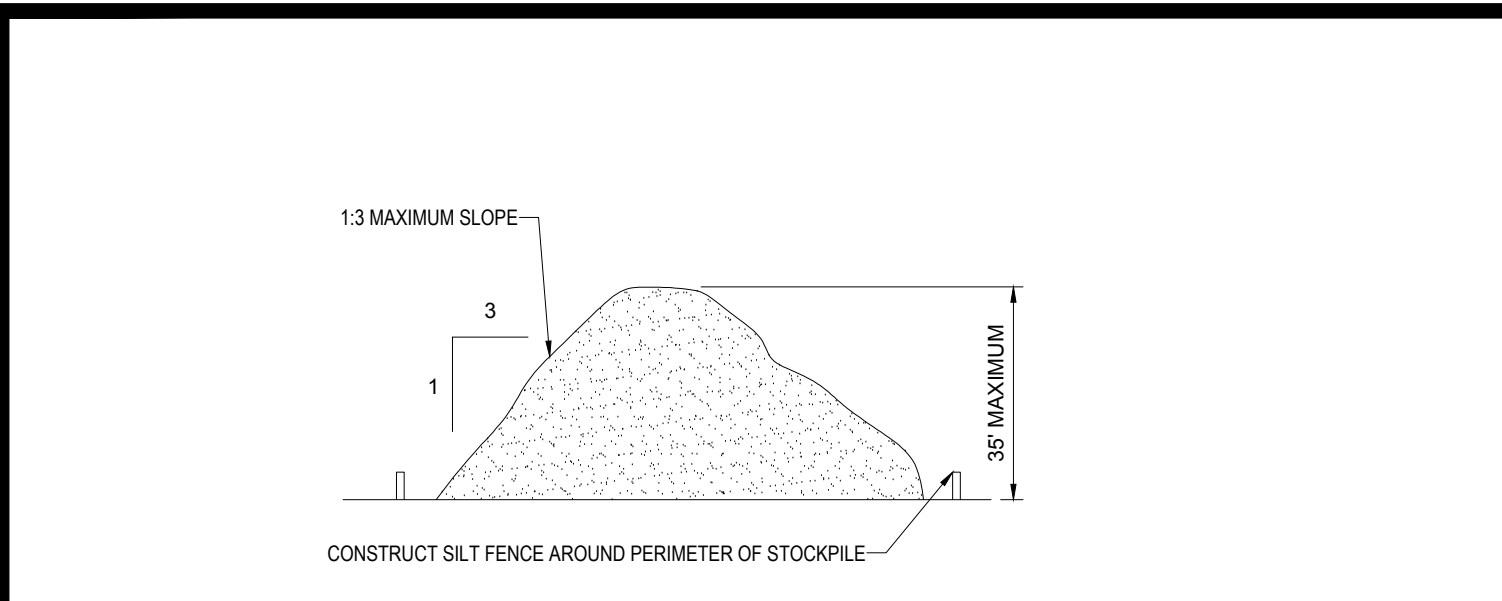
* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.

* MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK, WETTING FOR SMALL AREAS; AND ROAD DITCHES MAY BE PERMITTED.

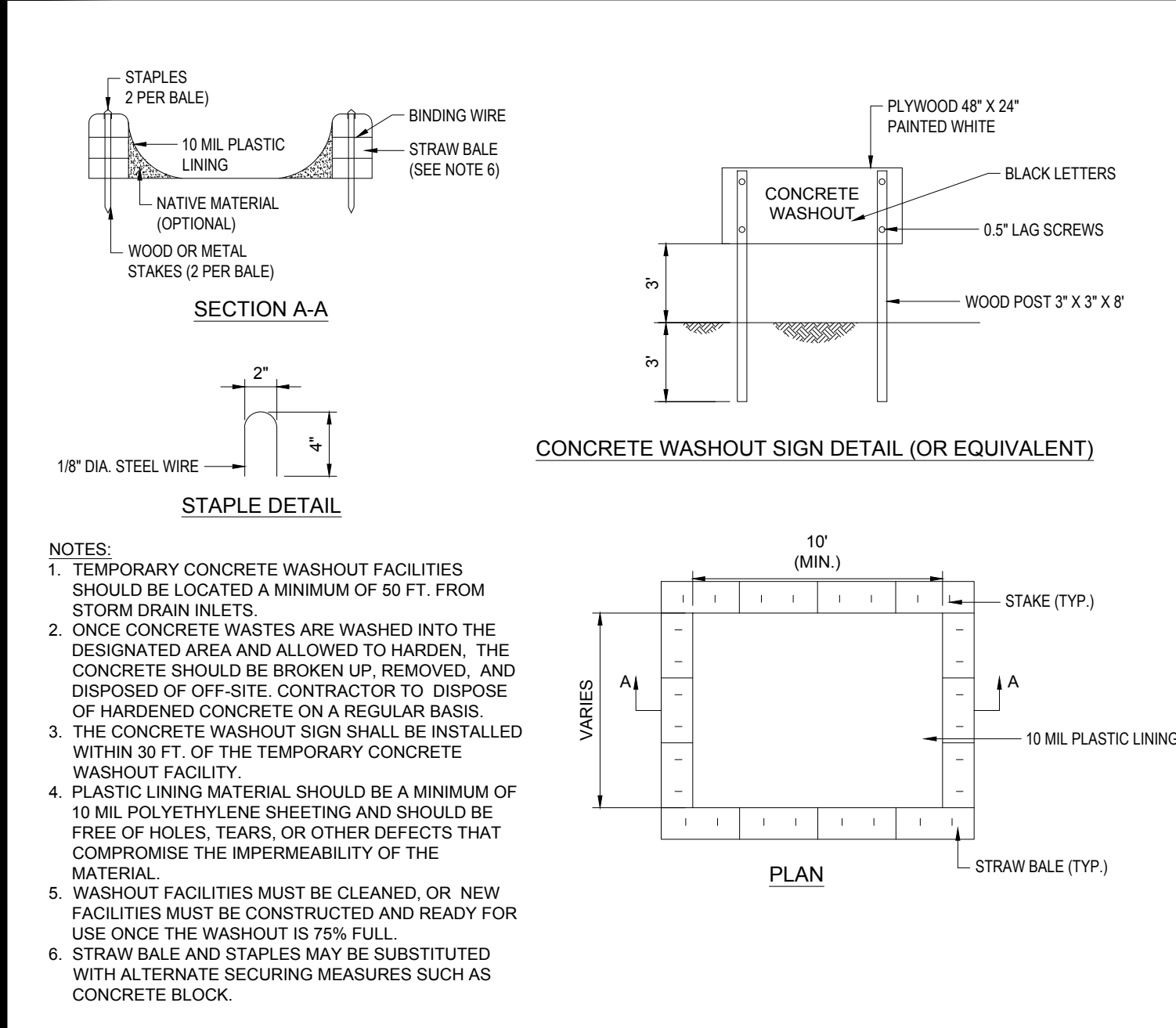
- PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1,800 FT PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES. MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
- THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
- EROSION CONTROL NOTES DURING WINTER CONSTRUCTION
 - WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
 - WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
 - CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
 - AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
 - FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDING. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WOOD HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
 - MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
 - ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
 - DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY XX.XXX ACRES.
- THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES.
 - INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON ALL SLOPES DOWN SLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
- INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" OR HALF THE OF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
- THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
- THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURFLANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
- THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
- THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION CONTROL AND SEDIMENTATION CONTROL FACILITIES. MEASURES AND STRUCTURES ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
- THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
- SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
- THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.



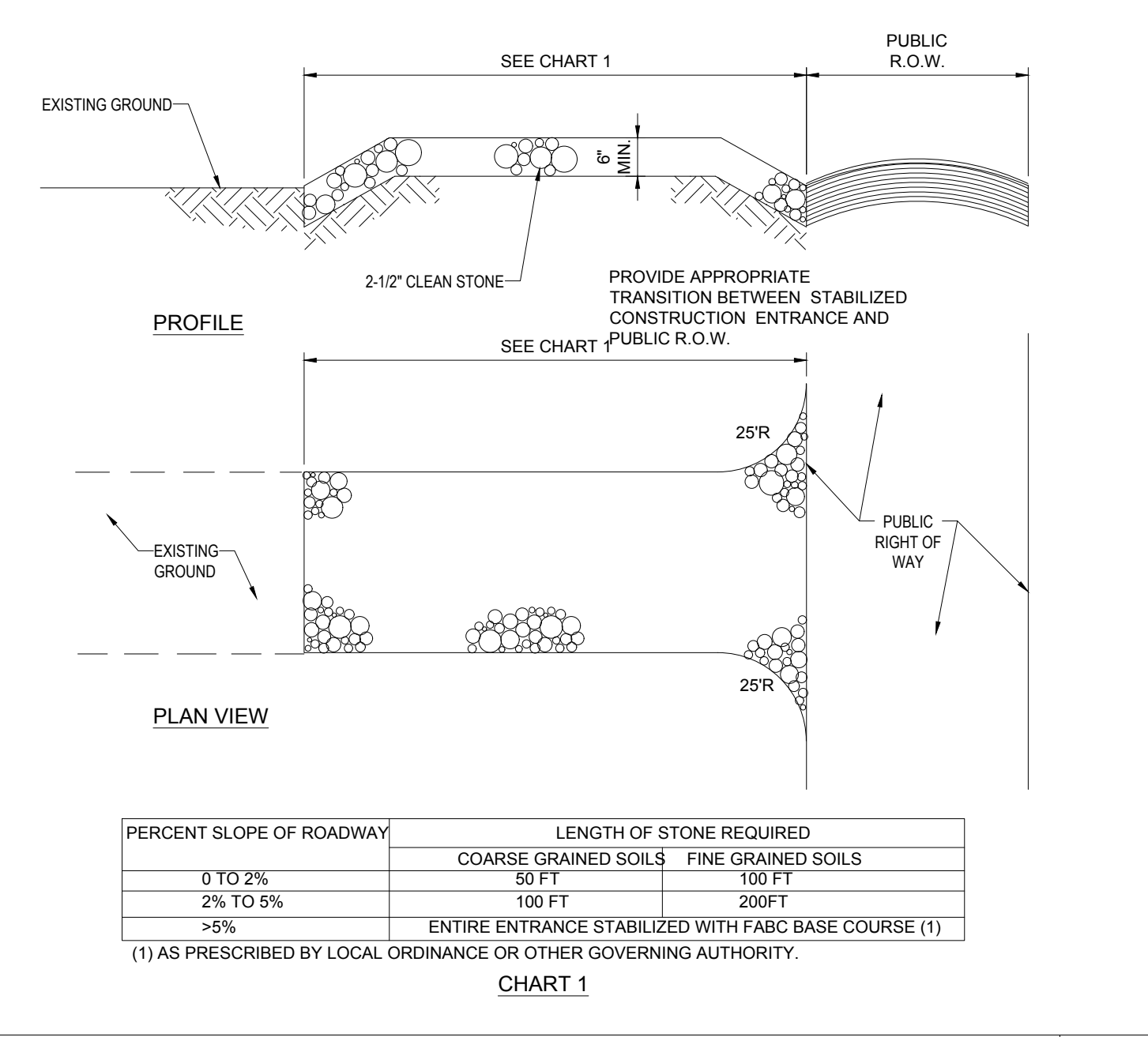
TYP. SILTATION FENCE N.T.S.



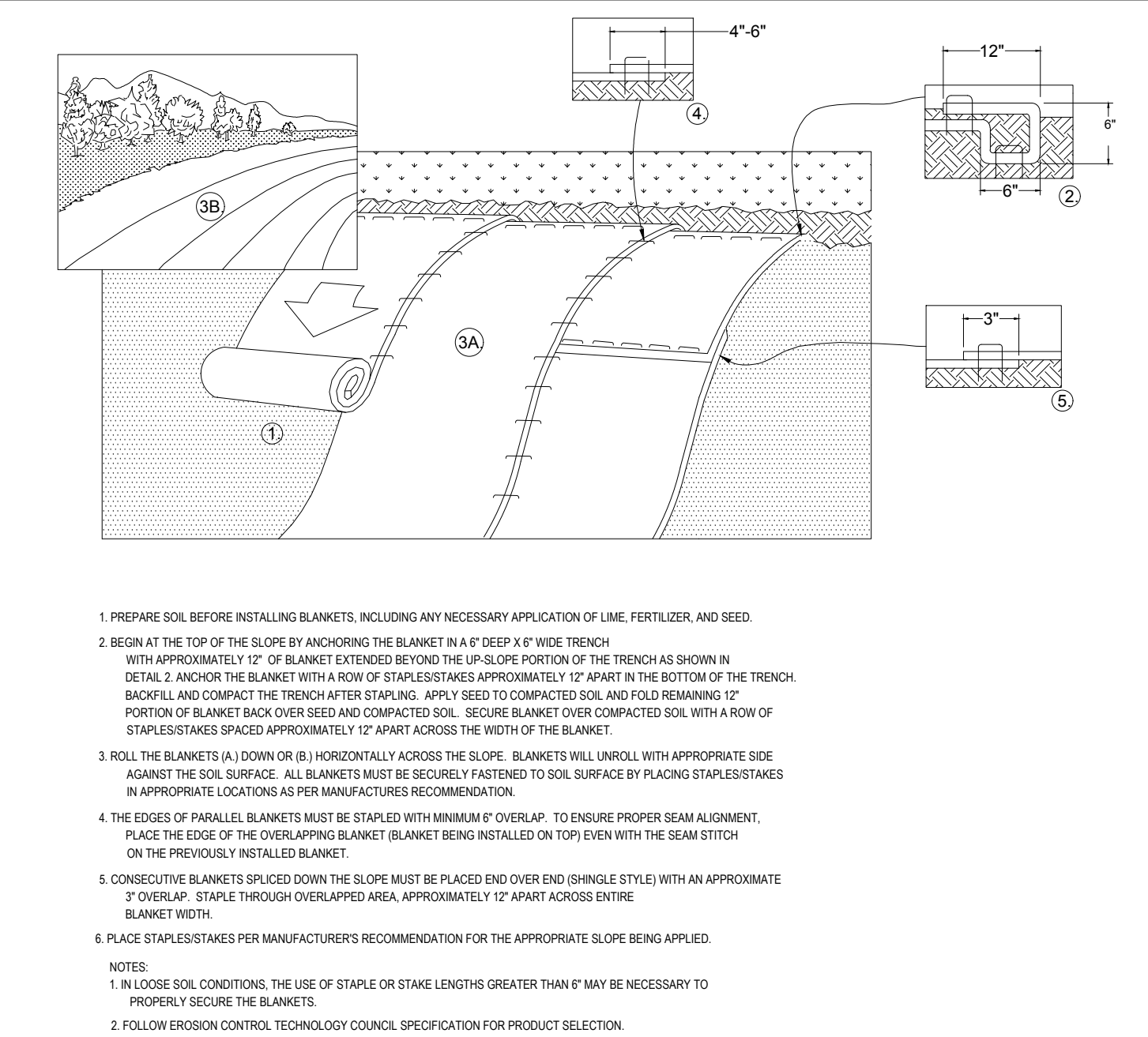
CONCRETE WASTE MANAGEMENT AREA N.T.S.

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
 - INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
 - INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING
 - INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
 - EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
 - CONSTRUCTION OF UTILITIES
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
 - CONSTRUCTION OF BUILDINGS
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 - REMOVAL OF THE TEMPORARY SEDIMENT BASINS
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

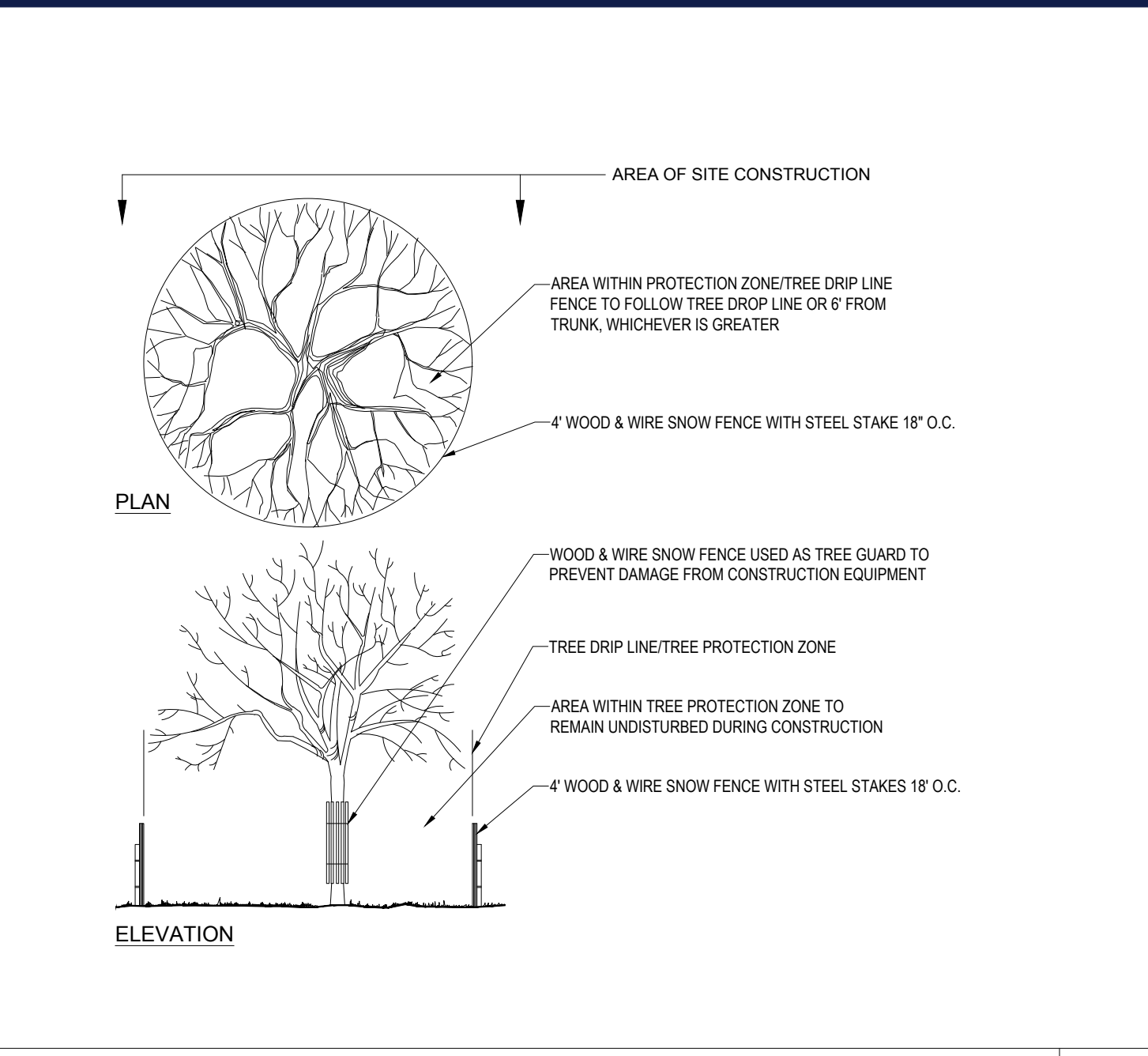
RECOMMENDED CONSTRUCTION SEQUENCE N.T.S.



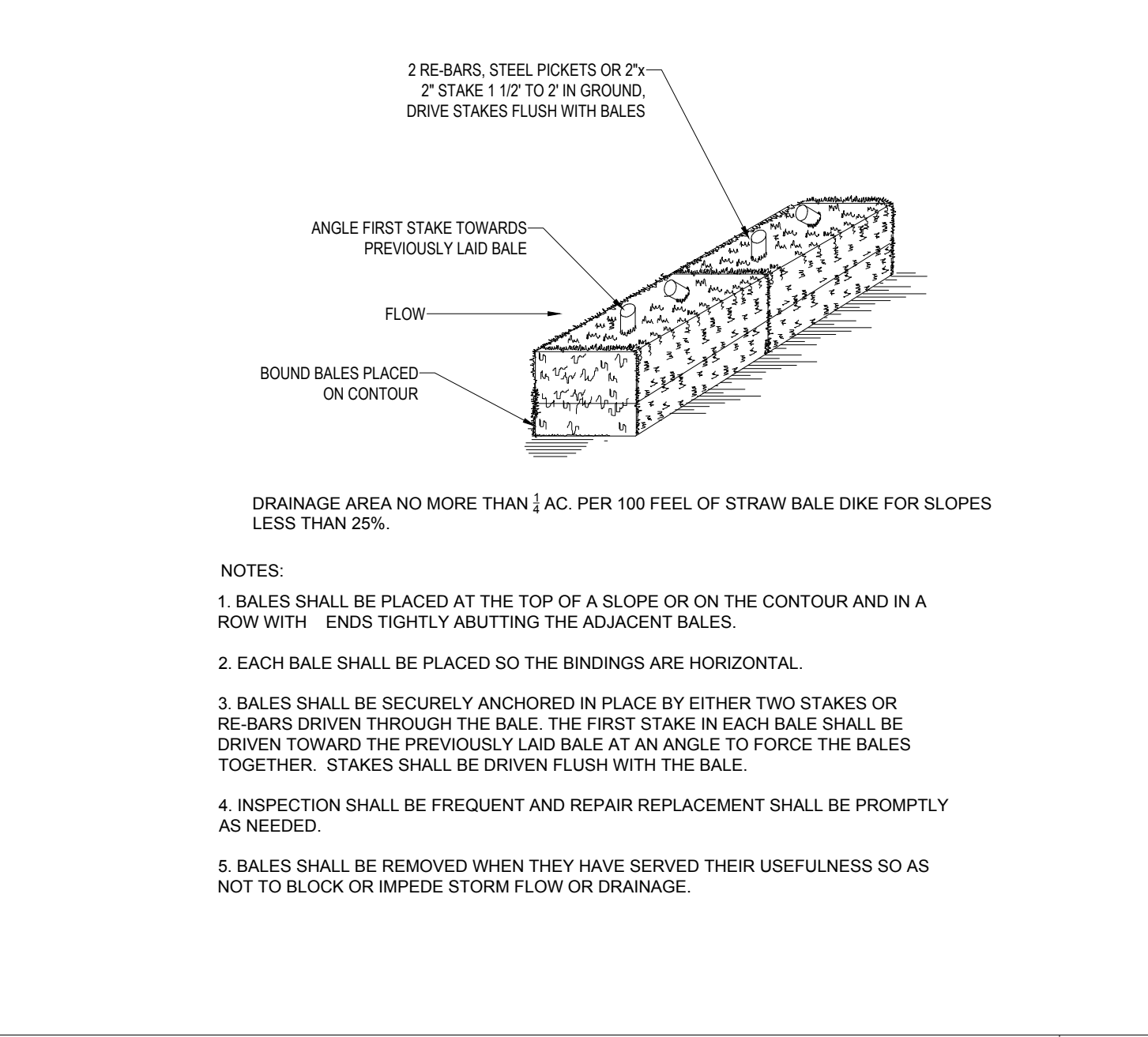
STABILIZED CONSTRUCTION ENTRANCE N.T.S.



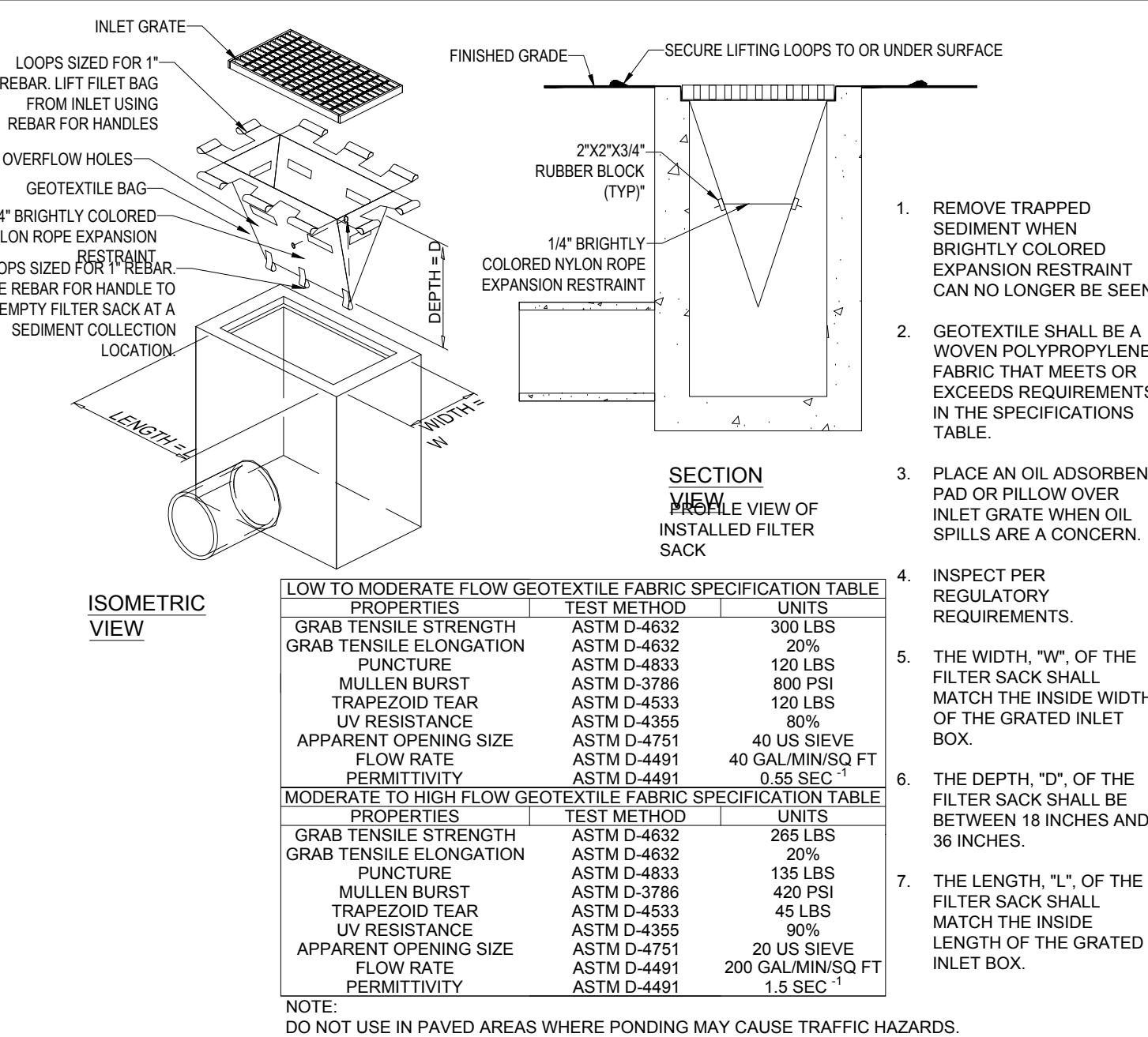
EROSION CONTROL BLANKET 2:1 SLOPES (SLOPE INSTALLATION) N.T.S.



TREE PROTECTION DURING SITE CONSTRUCTION N.T.S.



STRAW BALE N.T.S.



FILTER SACS (GRADED INLETS) N.T.S.

BOHLER
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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	4/28/2023	ZBA COMMENTS	OCR	MMA
2	2/15/2024	PLANNING BOARD SUBMISSION	OCR	MMA

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PROJECT No.: MAA220072.00
DRAWN BY: OCR / CSE
CHECKED BY: MMA
DATE: 03/02/2023
CAD ID: MAA220072.00-SPFD-2A

PROPOSED SITE PLAN DOCUMENTS

FOR

98 BEACON STREET LLC

PROPOSED DEVELOPMENT
MAP: 3 LOT: 1A & 8
BEACON STREET,
CITY OF WORCESTER,
WORCESTER COUNTY,
MASSACHUSETTS

BOHLER
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

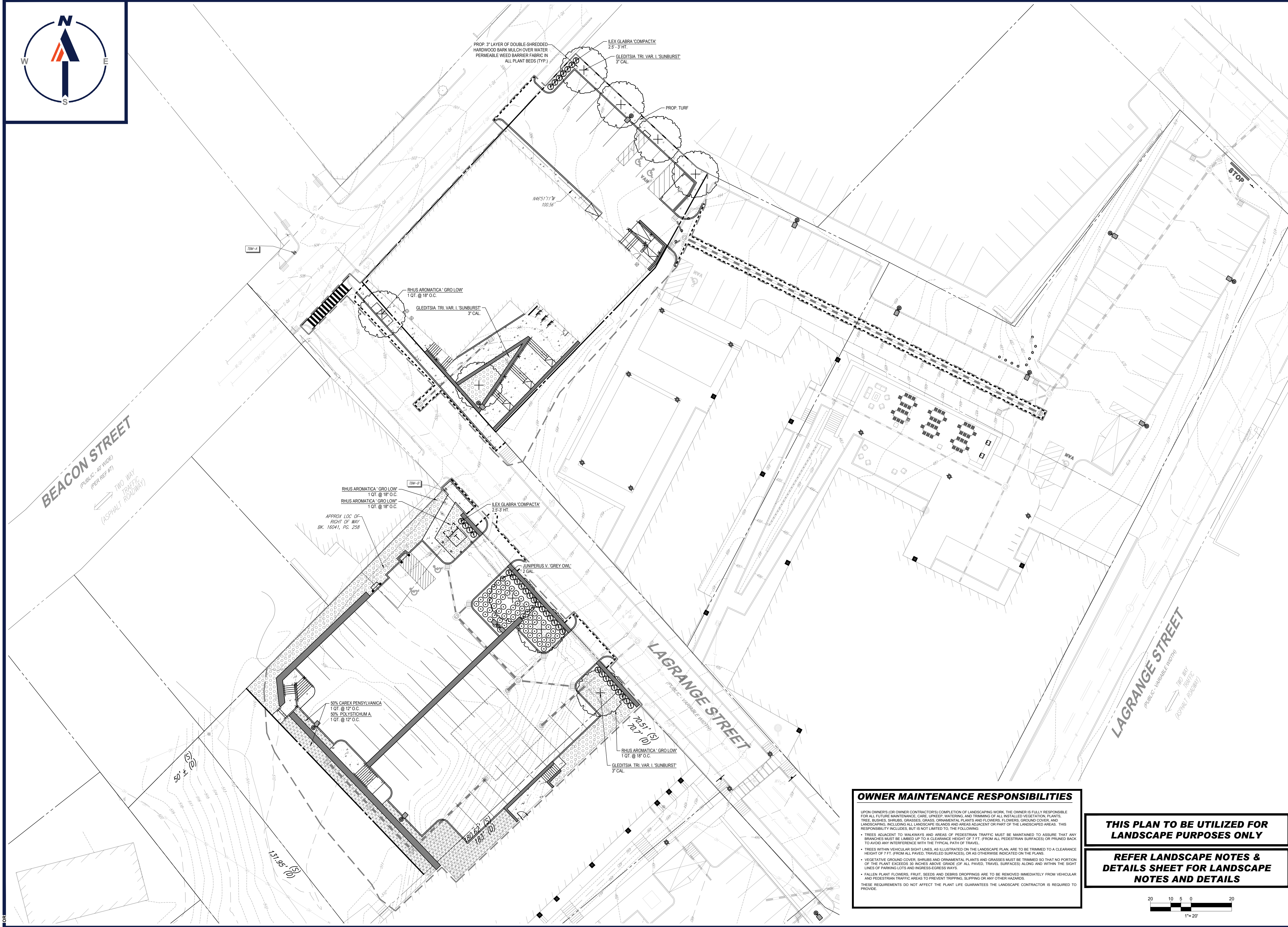
J. A. KUICICH
OHIO REGISTERED PROFESSIONAL ENGINEER
MAINE REGISTERED PROFESSIONAL ENGINEER
MAINE LICENSE NO. 15476
CONNECTIONS LICENSE NO. 29177
PHONE: 603-883-9616
MAINE LICENSE NO. 12553

SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

SHEET NUMBER: **C-602**

REVISION 2 - 2/15/2024

P:\2022\MAA220072\00-SPFD-2A\DRAWINGS\PLAN SET\EROSION AND SEDIMENT CONTROL NOTES.dwg



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PROJECT No.: MAA220072.00
 DRAWN BY: OCR / CSE
 CHECKED BY: MMA
 DATE: 03/03/2023
 CAD ID: MAA220072.00-SPPD-2A

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FOR

98 BEACON STREET LLC

PROPOSED DEVELOPMENT

MAP: 3 LOT: 1A & 8
 BEACON STREET,
 CITY OF WORCESTER,
 WORCESTER COUNTY,
 MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900

www.BohlerEngineering.com

M.J. MRVA

REGISTERED LANDSCAPE ARCHITECT

MASSACHUSETTS No. 1217
 RHODE ISLAND No. 419
 NEW YORK No. 002359
 NEW HAMPSHIRE No. 59
 CONNECTICUT No. 1359
 MAINE No. 4248
 OHIO No. 292631

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

C-701

REVISION 2 - 2/15/2024

OWNER MAINTENANCE RESPONSIBILITIES

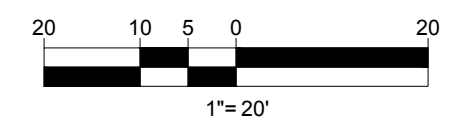
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PAVED, TRAVELED SURFACES, OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

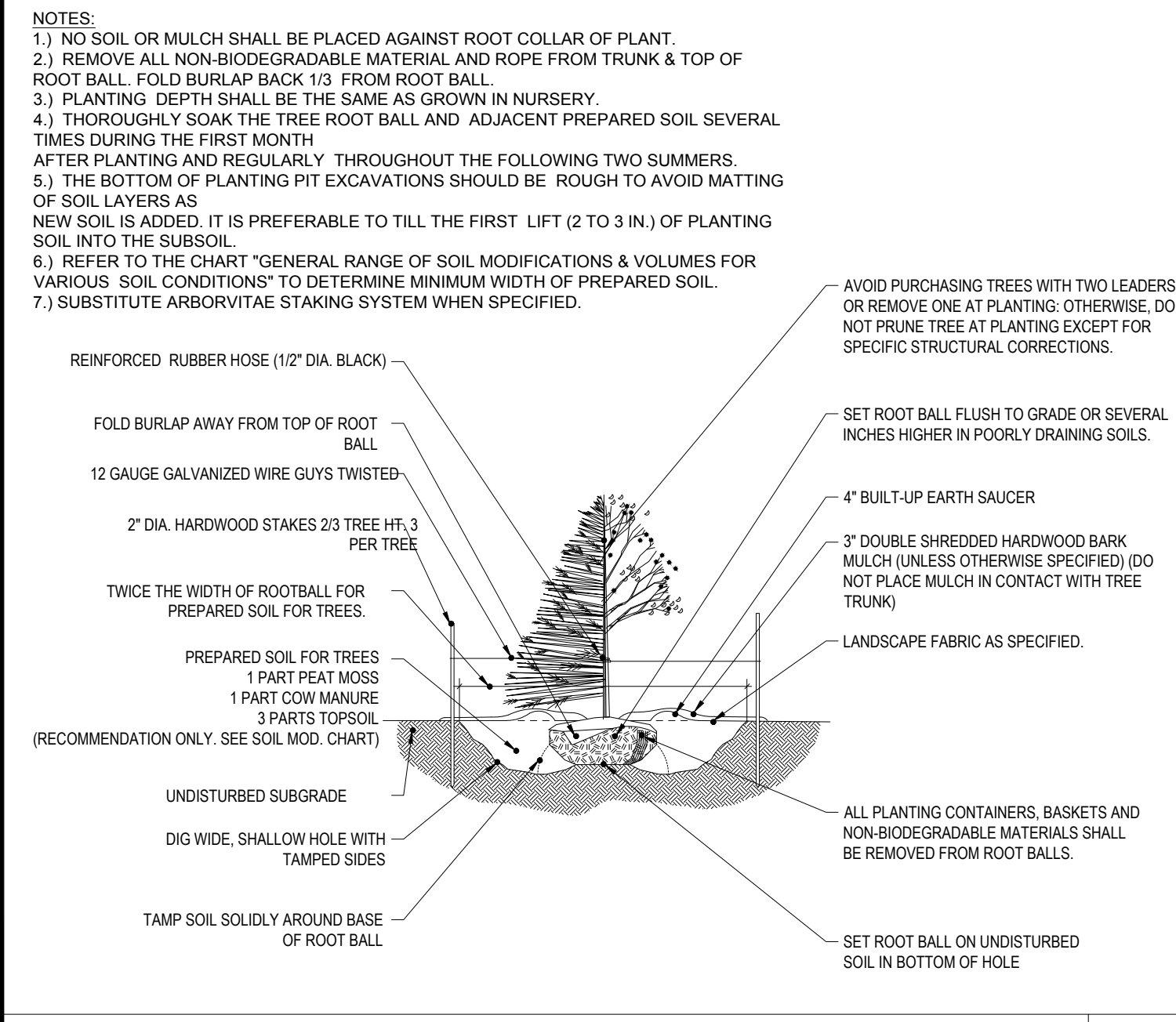
REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



P:\022\MAA220072.00\CAD\DRAWINGS\PLAN SITE\SITE PLAN\MAA220072.00-SPPD-2A.dwg - LAYOUT: C-701.LAND

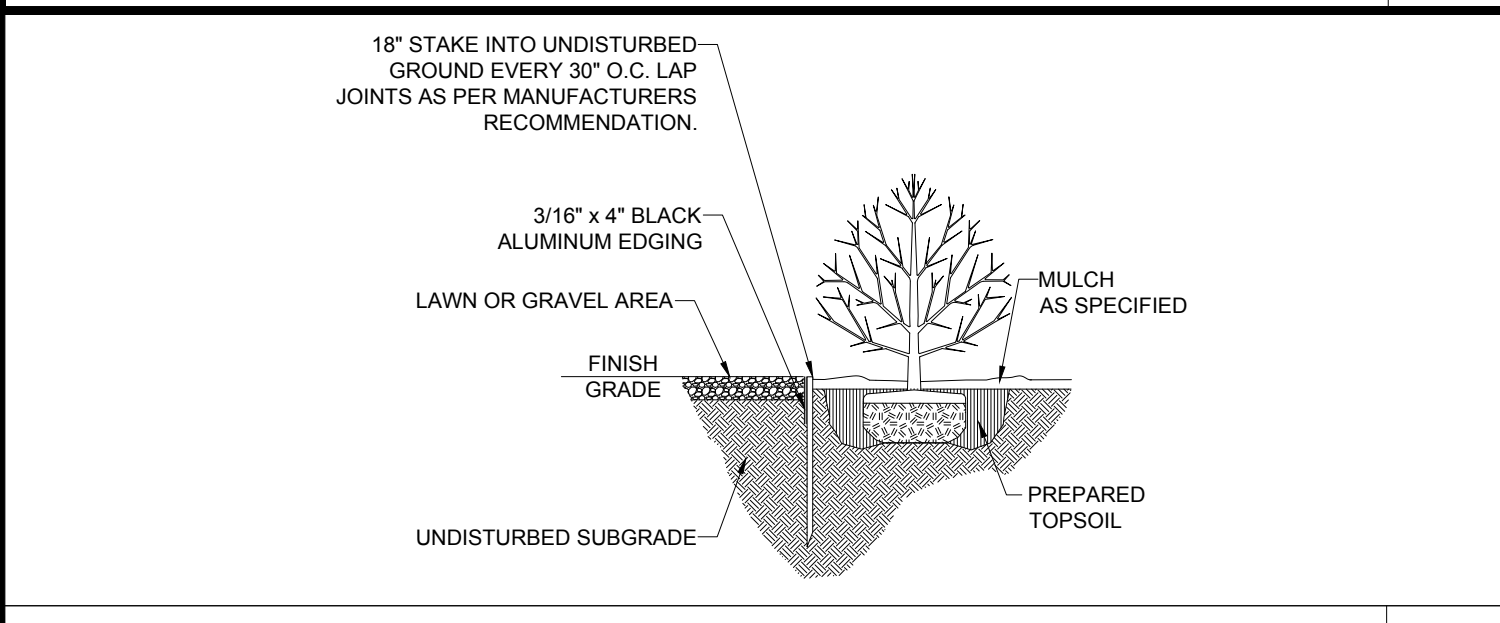
LANDSCAPE SPECIFICATIONS

1. **SCOPE OF WORK**
 - 1.1. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
2. **MATERIALS**
 - 2.1. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
 - 2.2. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - 2.3. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN
 - 2.3.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
 - 2.3.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - 2.4. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.
 - 2.5. FERTILIZER
 - 2.5.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 - 2.5.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - 2.6. PLANT MATERIAL
 - 2.6.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
 - 2.6.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
 - 2.6.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - 2.6.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 - 2.6.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 - 2.6.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 - 2.6.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
 - 2.6.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
3. **GENERAL WORK PROCEDURES**
 - 3.1. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 - 3.2. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
4. **SITE PREPARATIONS**
 - 4.1. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
 - 4.2. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - 4.3. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
5. **TREE PROTECTION**
 - 5.1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 - 5.2. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE", OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
 - 5.3. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 - 5.4. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
6. **SOIL MODIFICATIONS**
 - 6.1. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - 6.2. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
 - 6.3. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - 6.3.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 - 6.3.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
 - 6.3.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. **FINISHED GRADING**
 - 7.1. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 - 7.2. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
 - 7.3. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - 7.4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
8. **TOPSOILING**
 - 8.1. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
 - 8.2. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 - 8.3. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
 - 8.4. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):
 - 8.4.1. 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER
 - 8.4.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
 - 8.5. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
9. **PLANTING**
 - 9.1. INsofar as it is feasible, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
 - 9.2. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.



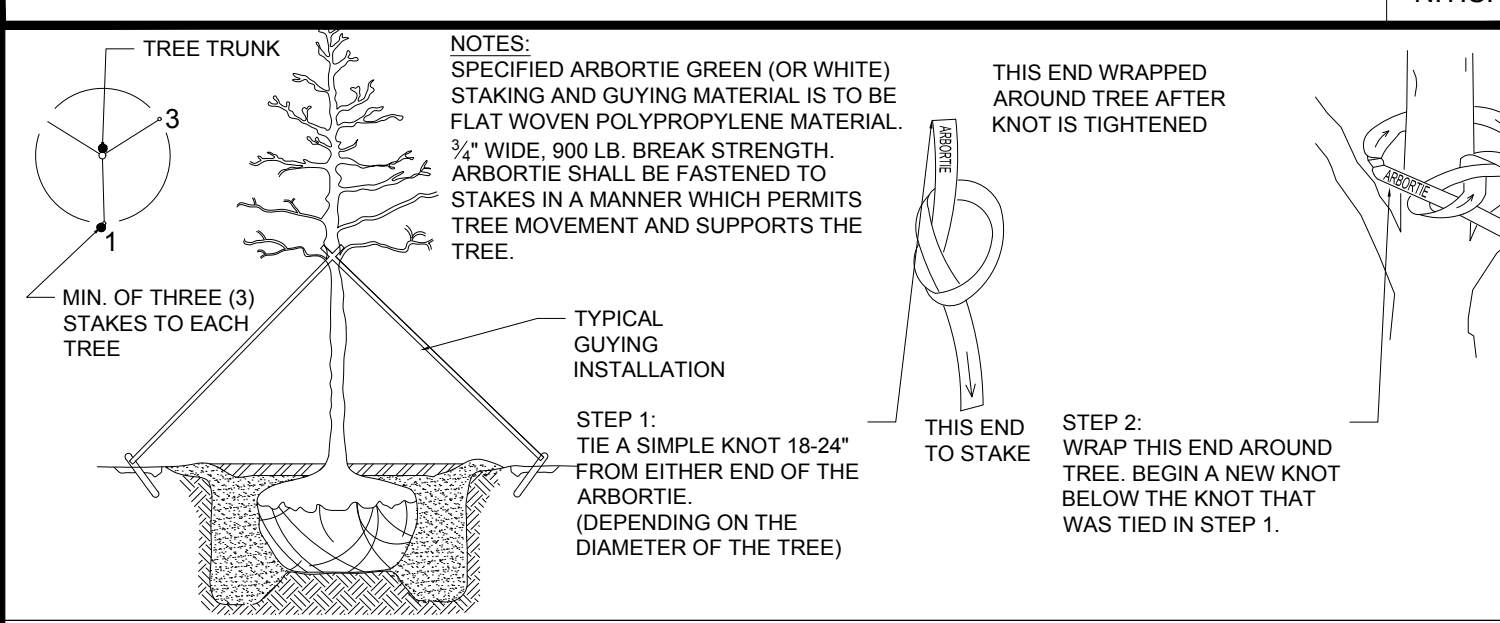
TREE PLANTING DETAIL

N.T.S.



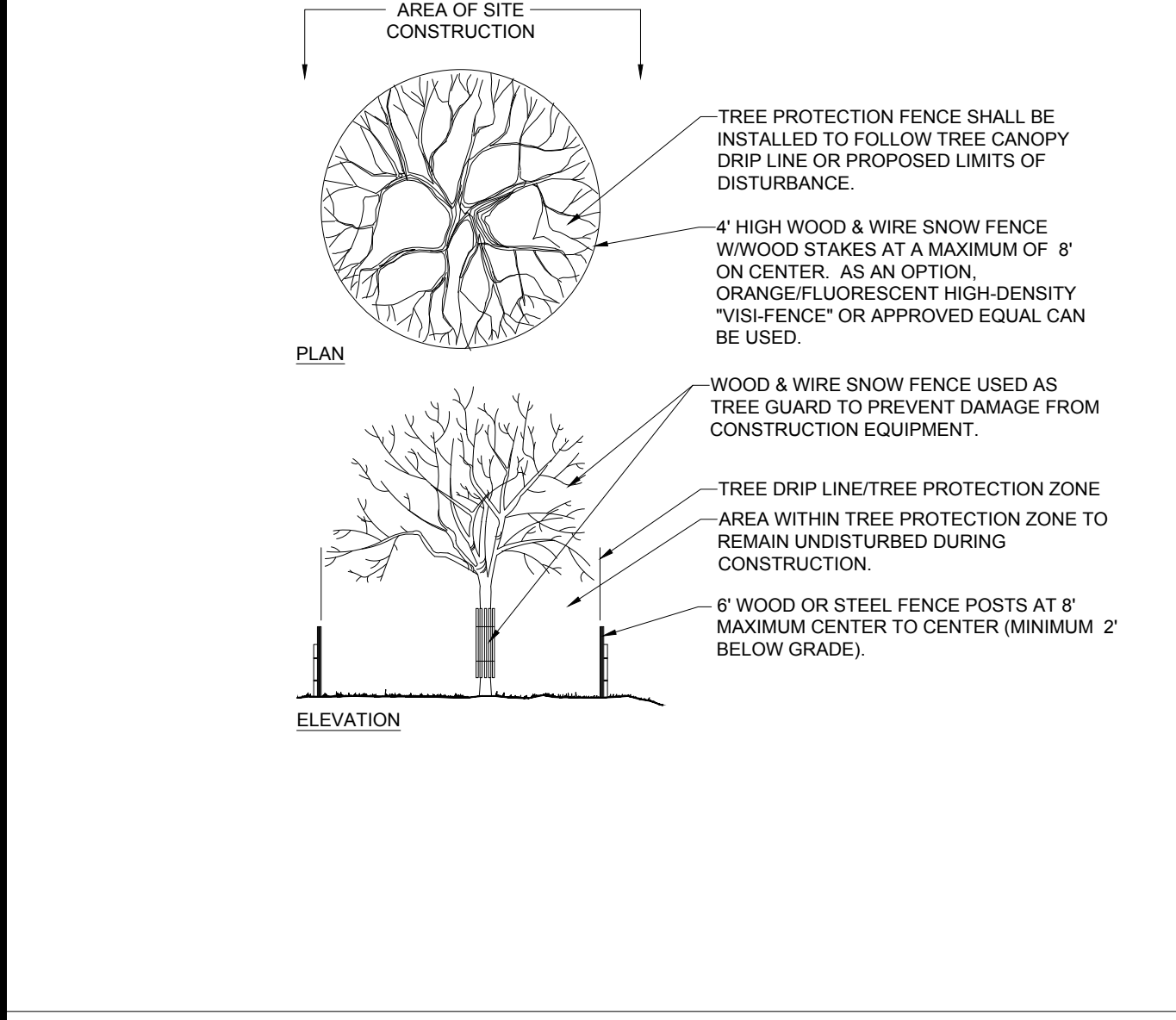
BLACK ALUMINUM EDGING

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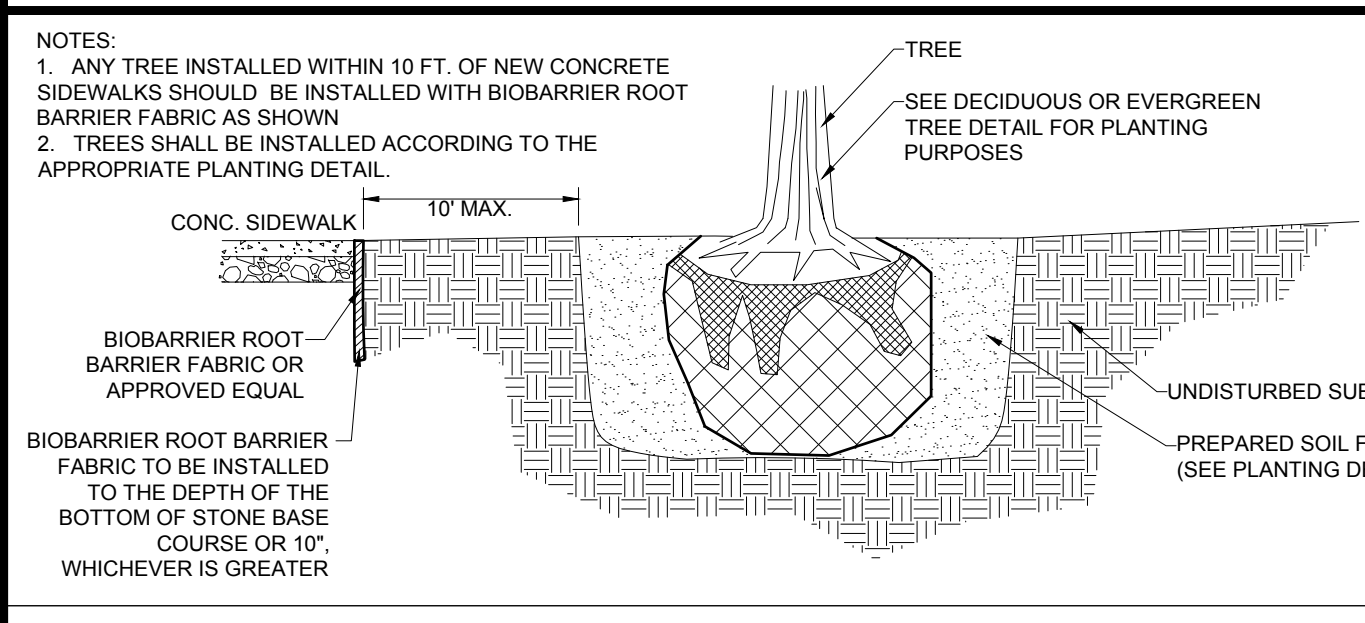
ARBORTIE STAKING DETAIL

N.T.S.



TREE PROTECTION DURING SITE CONSTRUCTION

N.T.S.



BIOBARRIER ROOT BARRIER DETAIL

N.T.S.

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 SITE CIVIL AND CONSULTING ENGINEERING
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PROJECT: **PROPOSED SITE PLAN DOCUMENTS**

FOR **98 BEACON STREET LLC**

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 www.BohlerEngineering.com

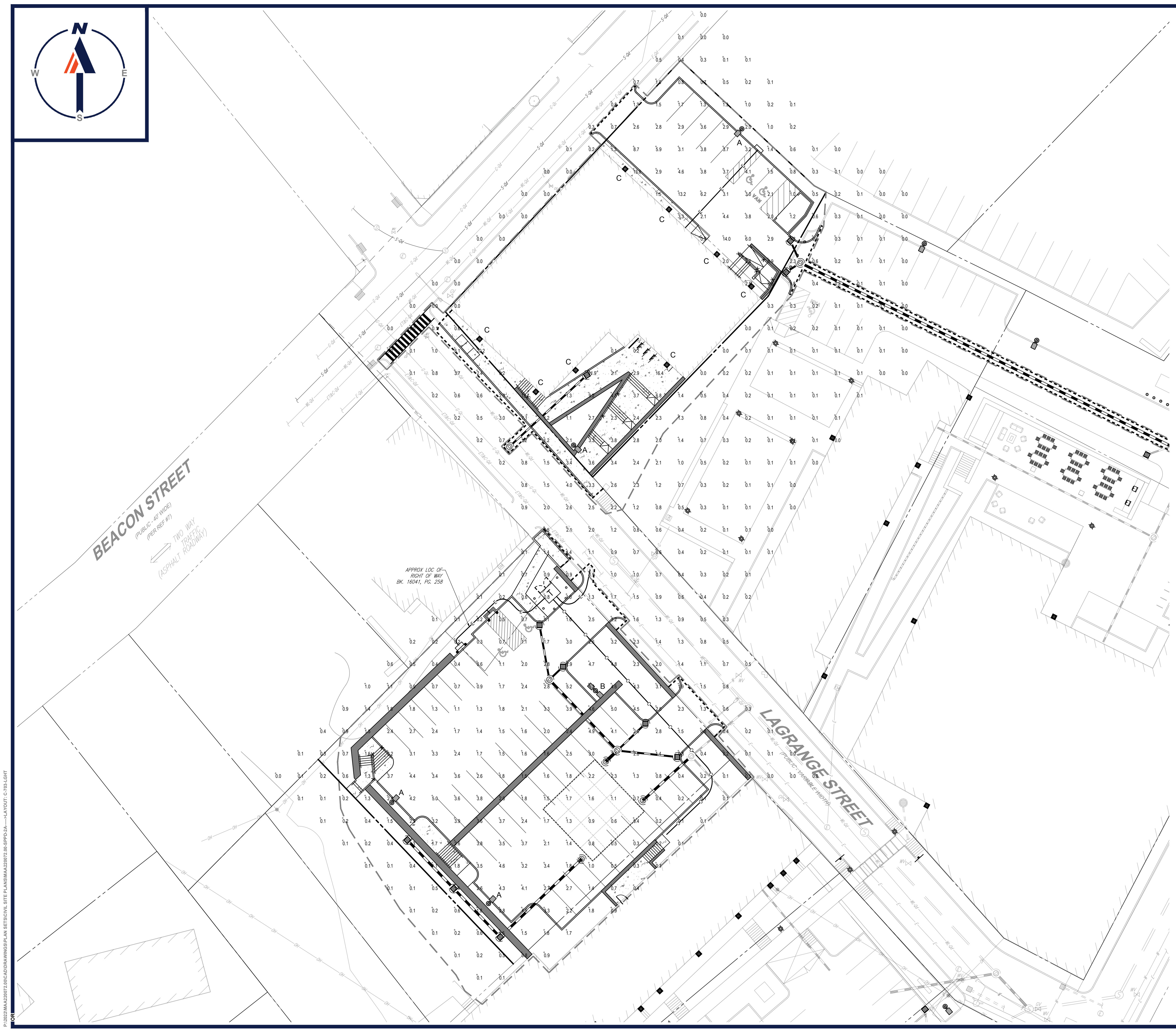
M.J. MRVA
 REGISTERED LANDSCAPE ARCHITECT
 MASSACHUSETTS No. 1217
 RHODE ISLAND No. 419
 NEW YORK No. 002359
 NEW HAMPSHIRE No. 159
 CONNECTICUT No. 1359
 MAINE No. 4248
 OHIO No. 22683

LANDSCAPE NOTES & DETAILS

SHEET NUMBER: **C-702**

REVISION 2 - 2/15/2024

P:\0222\MAA220072\00-SPFD-2A\...-LAYOUT.ctb 7/21/2024

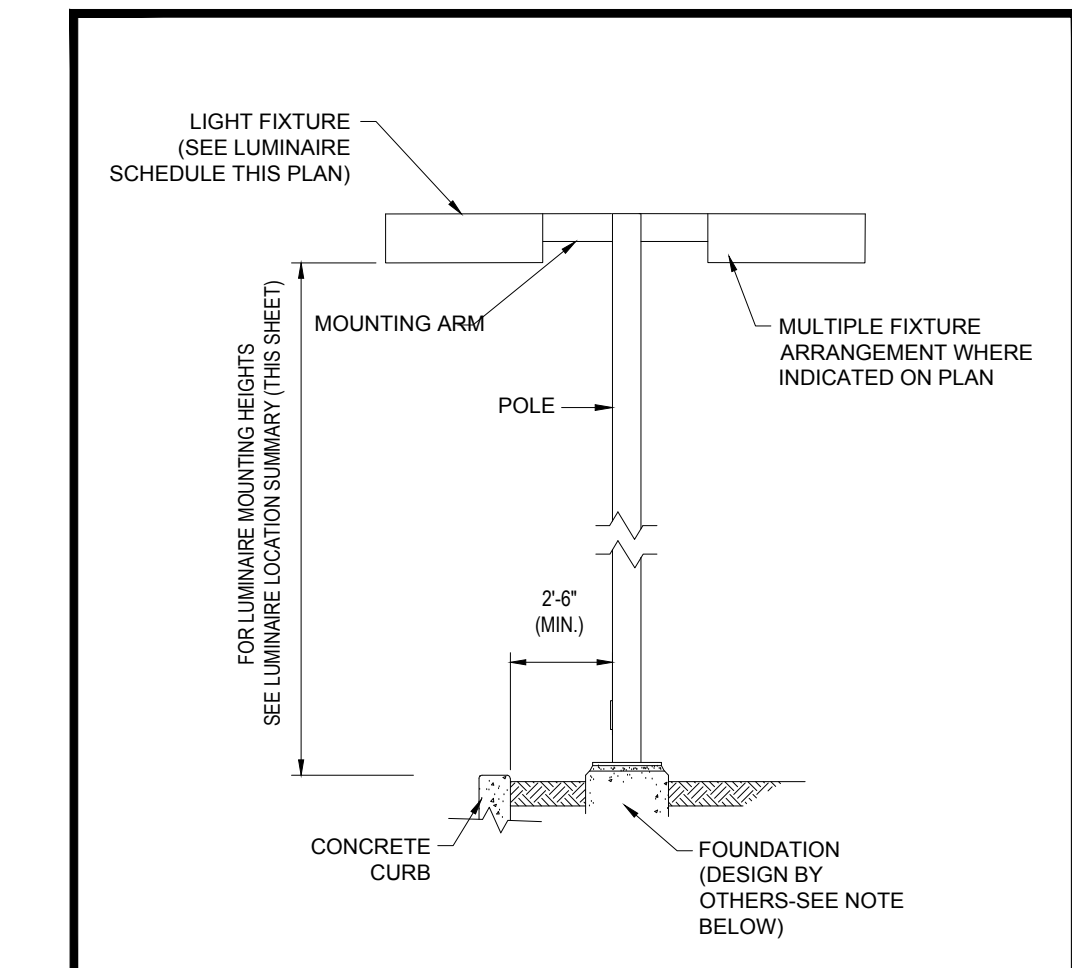


LIGHTING NOTES

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDELS.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES. UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

NUMERIC SUMMARY						
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN
UPPER PARKING	ILLUMINANCE	FC	4.08	14.0	1.0	4.08
LOWER PARKING	ILLUMINANCE	FC	2.29	5.3	0.1	22.90

LUMINAIRE SCHEDULE					
SYMBOL	QTY	ARRANGEMENT	LUMENS	ULF	DESCRIPTION
⊙ A	4	SINGLE	20,700	0.90	CREE OSQ LED AREA LIGHT WITH SHIELD MOUNTED @ 25'; OSQ-A-3ME-K-30K-UL
⊙ B	1	DOUBLE @ 180	20,700	0.90	CREE OSQ LED AREA LIGHT MOUNTED @ 25'; OSQ-A-3ME-K-30K-UL
⊙ C	8	SINGLE	3,351	0.90	WALL MOUNT, BEGA 24351 (OR SIMILAR)

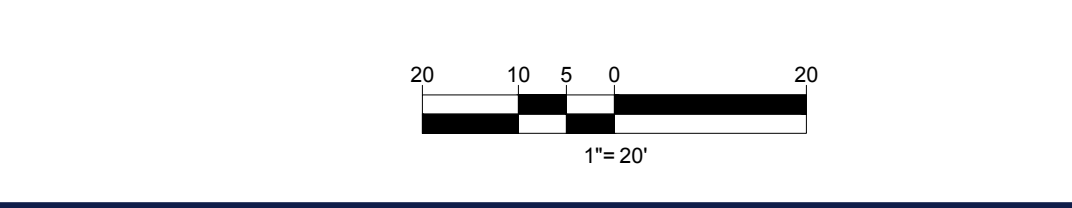


AREA LIGHT DETAIL N.T.S.

NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY
1	4/28/2023	ZBA COMMENTS	OCR
2	2/15/2024	PLANNING BOARD SUBMISSION	OCR

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PROJECT No.: MAA220072.00
 DRAWN BY: OCR / CSE
 CHECKED BY: MMA
 DATE: 03/03/2023
 CAD I.D.: MAA220072.00-SPPD-2A

PROPOSED SITE PLAN DOCUMENTS

FOR

98 BEACON STREET LLC

PROPOSED DEVELOPMENT

MAP: 3 LOT: 1A & 8
 BEACON STREET,
 CITY OF WORCESTER,
 WORCESTER COUNTY,
 MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
www.BohlerEngineering.com

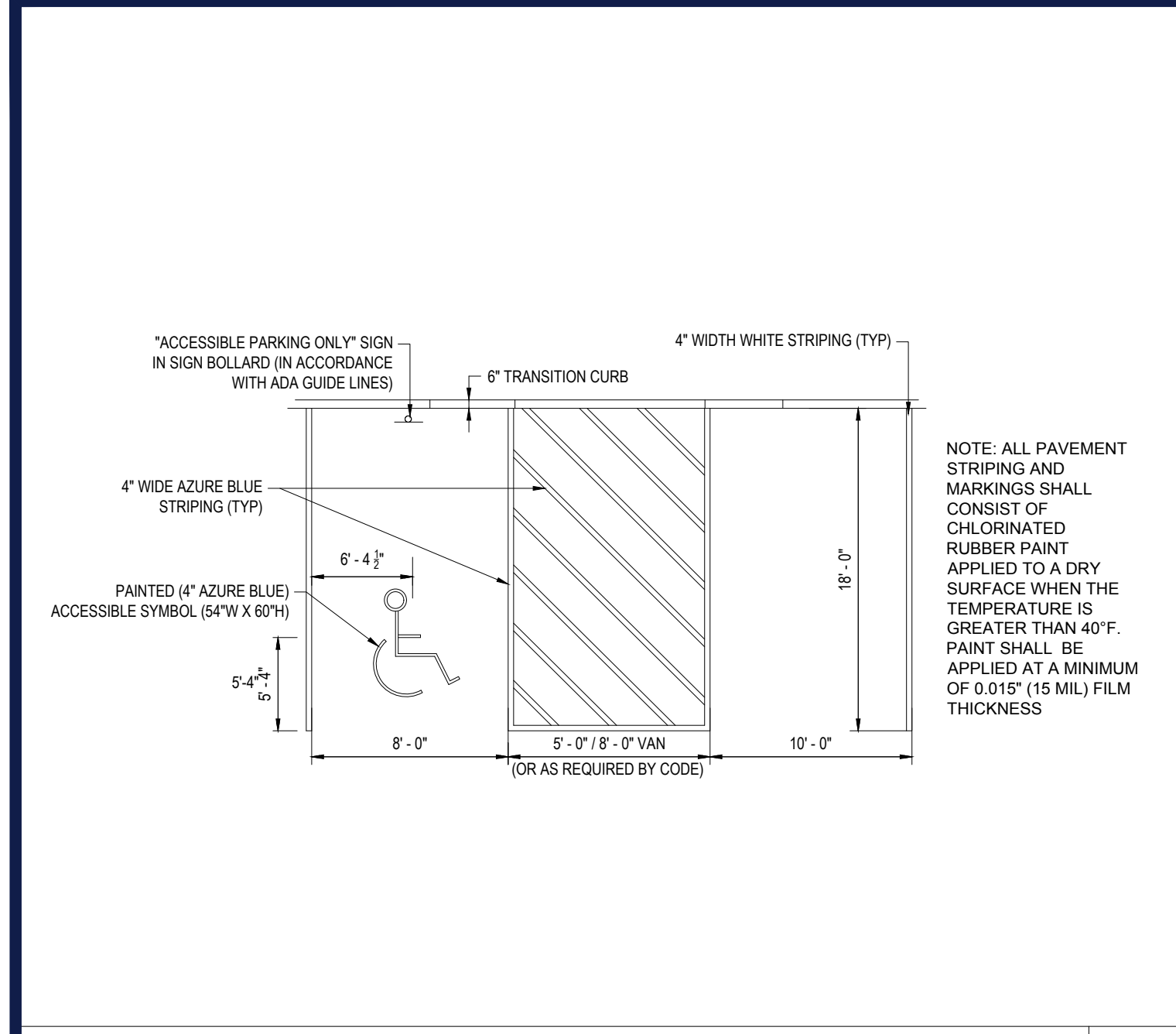
J.A. KUCICH
 JOHN A. KUCICH
 CIVIL
 PROFESSIONAL ENGINEER
 MAINE LICENSE NO. 11530
 NEW HAMPSHIRE LICENSE NO. 15476
 CONNECTICUT LICENSE NO. 26177
 PHONE: (508) 480-9900
 MAINE LICENSE NO. 12553

SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER:
C-703

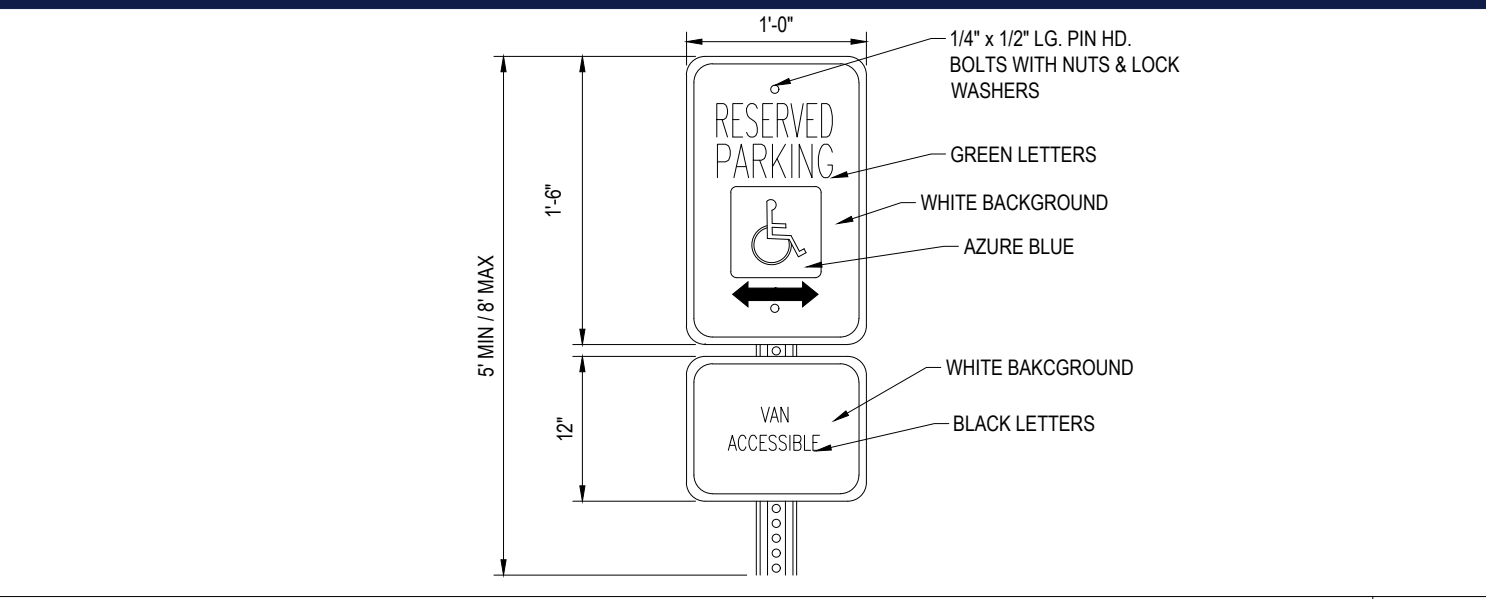
REVISION 2 - 2/15/2024

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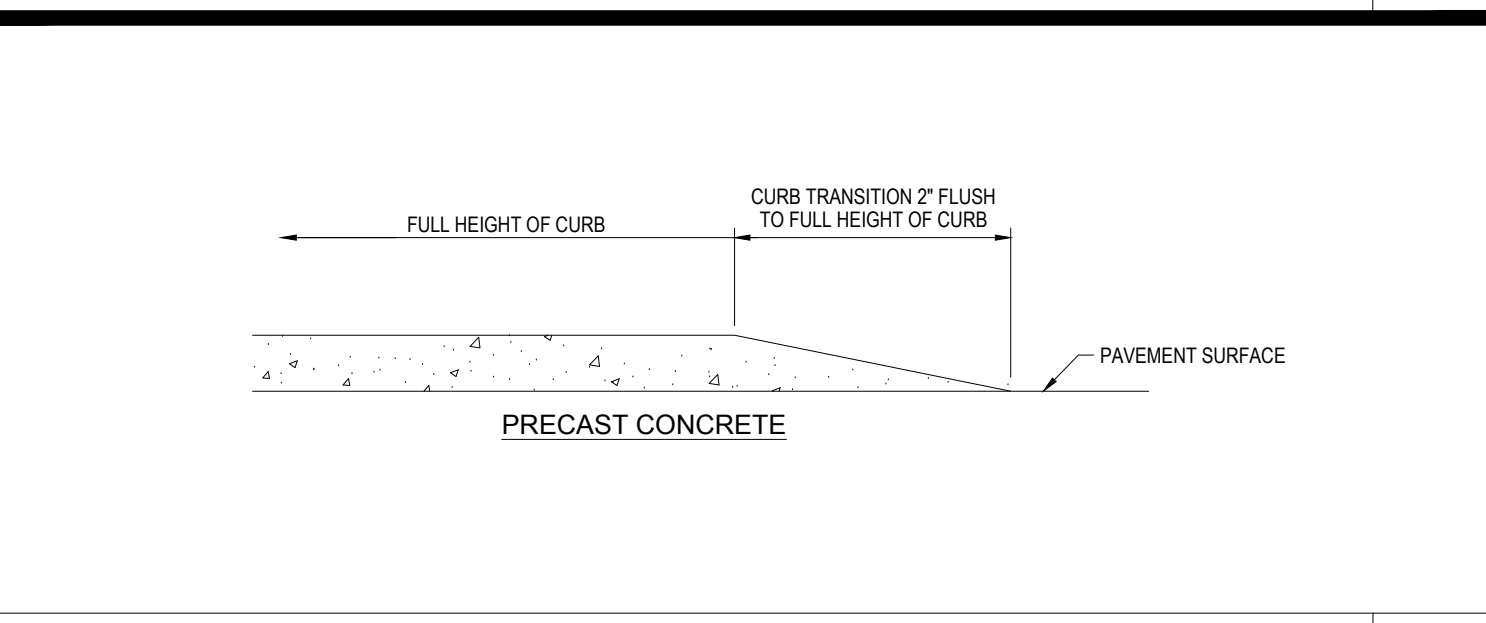
ACCESSIBLE PARKING STALL MARKINGS

NTS



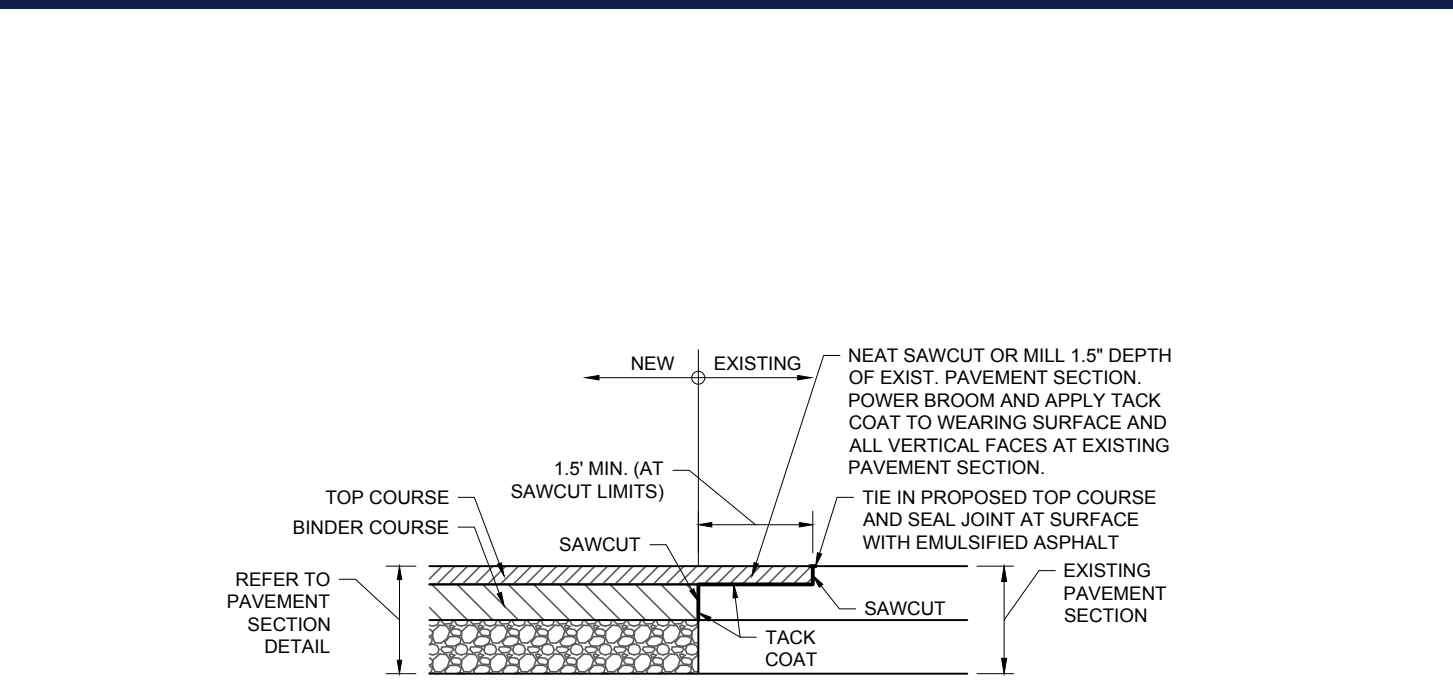
ACCESSIBLE PARKING SIGN

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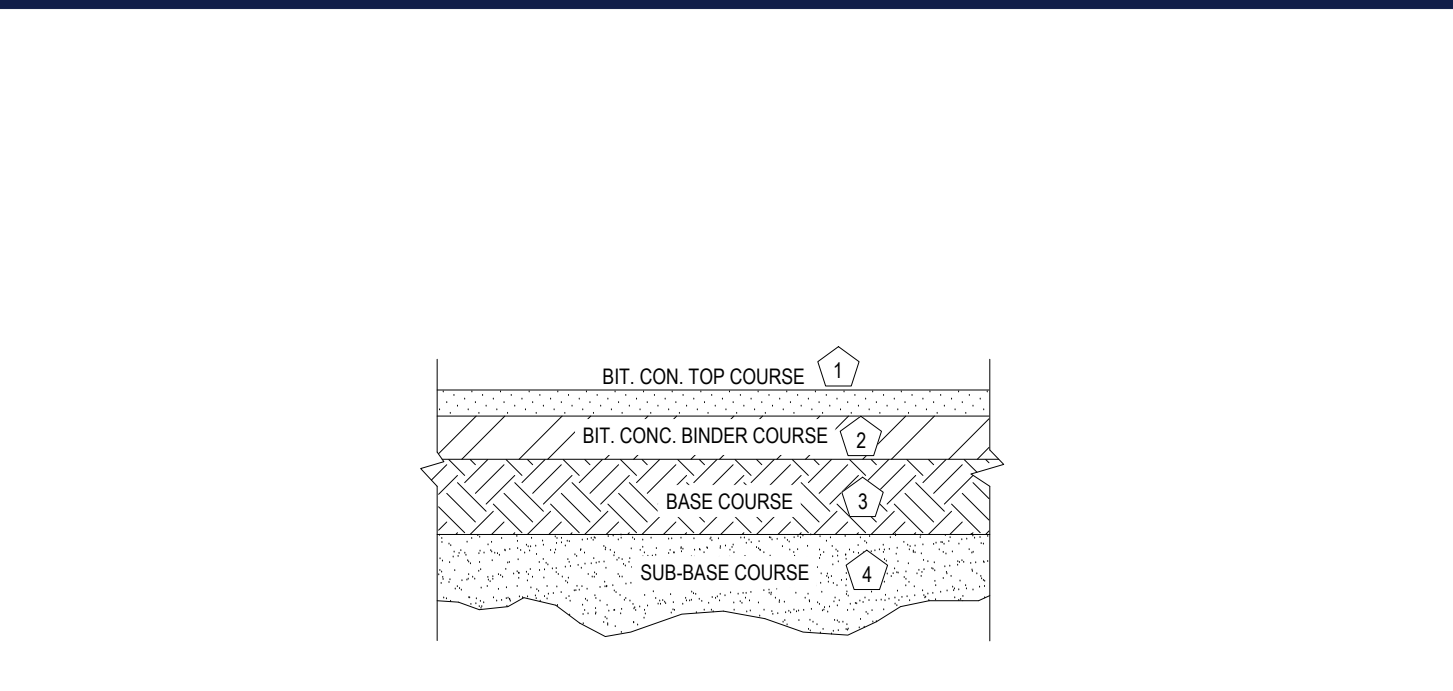
TRANSITION CURB DETAIL

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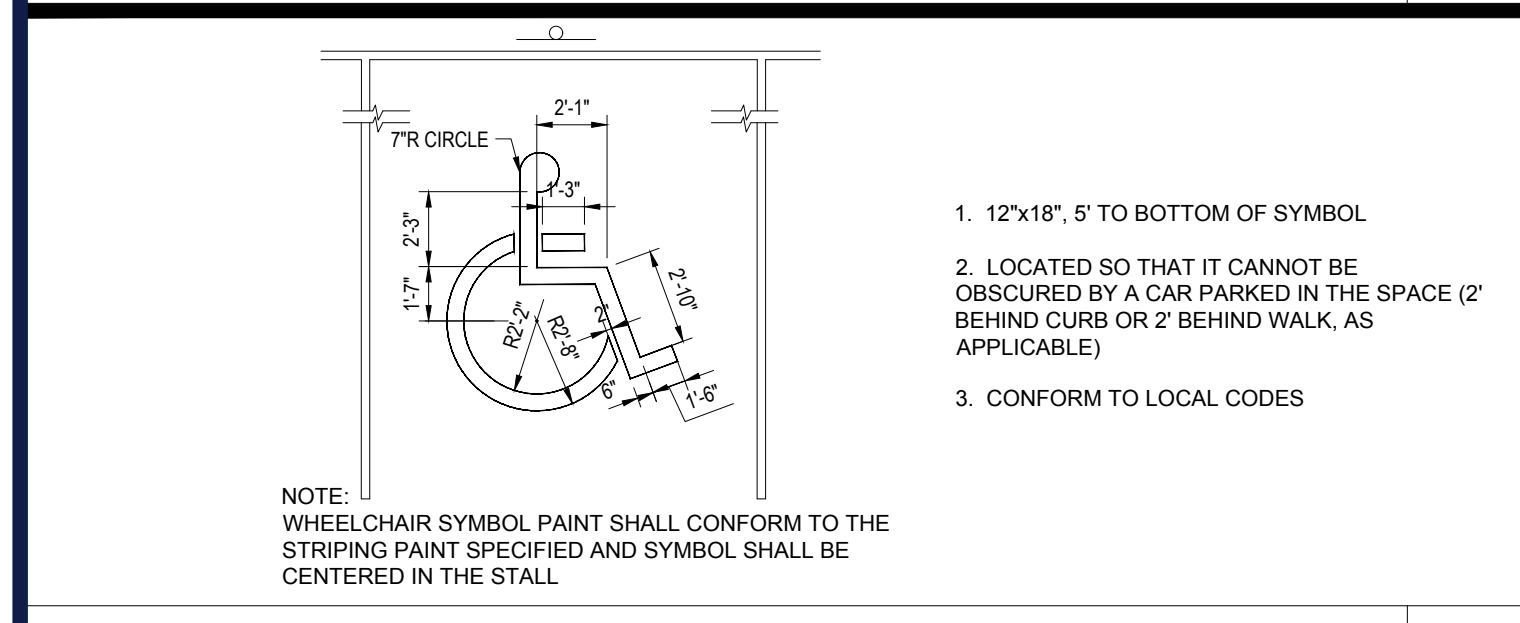
BITUMINOUS CONCRETE PAVEMENT TIE IN

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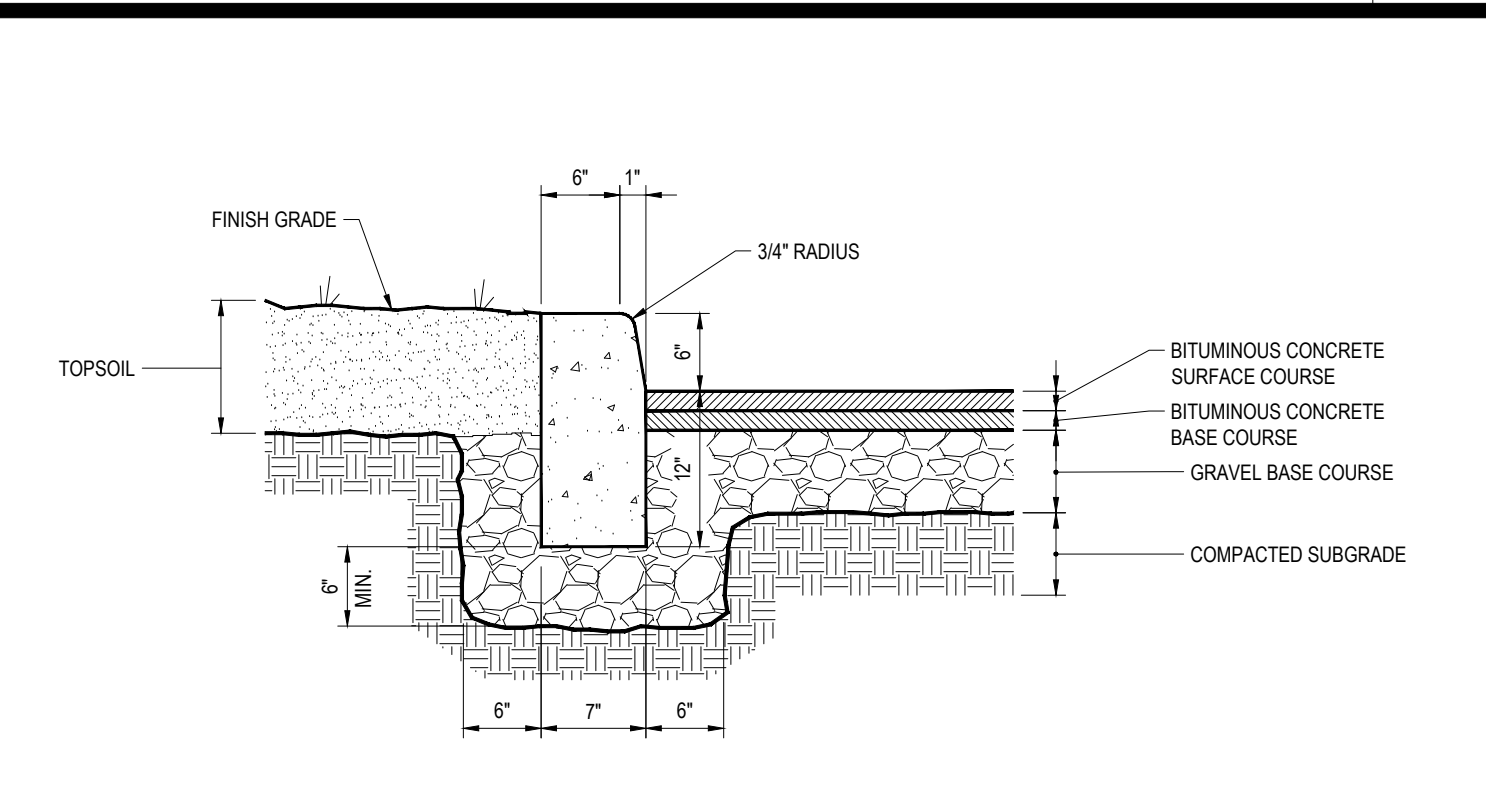
CITY STANDARD PAVEMENT SECTION DETAIL

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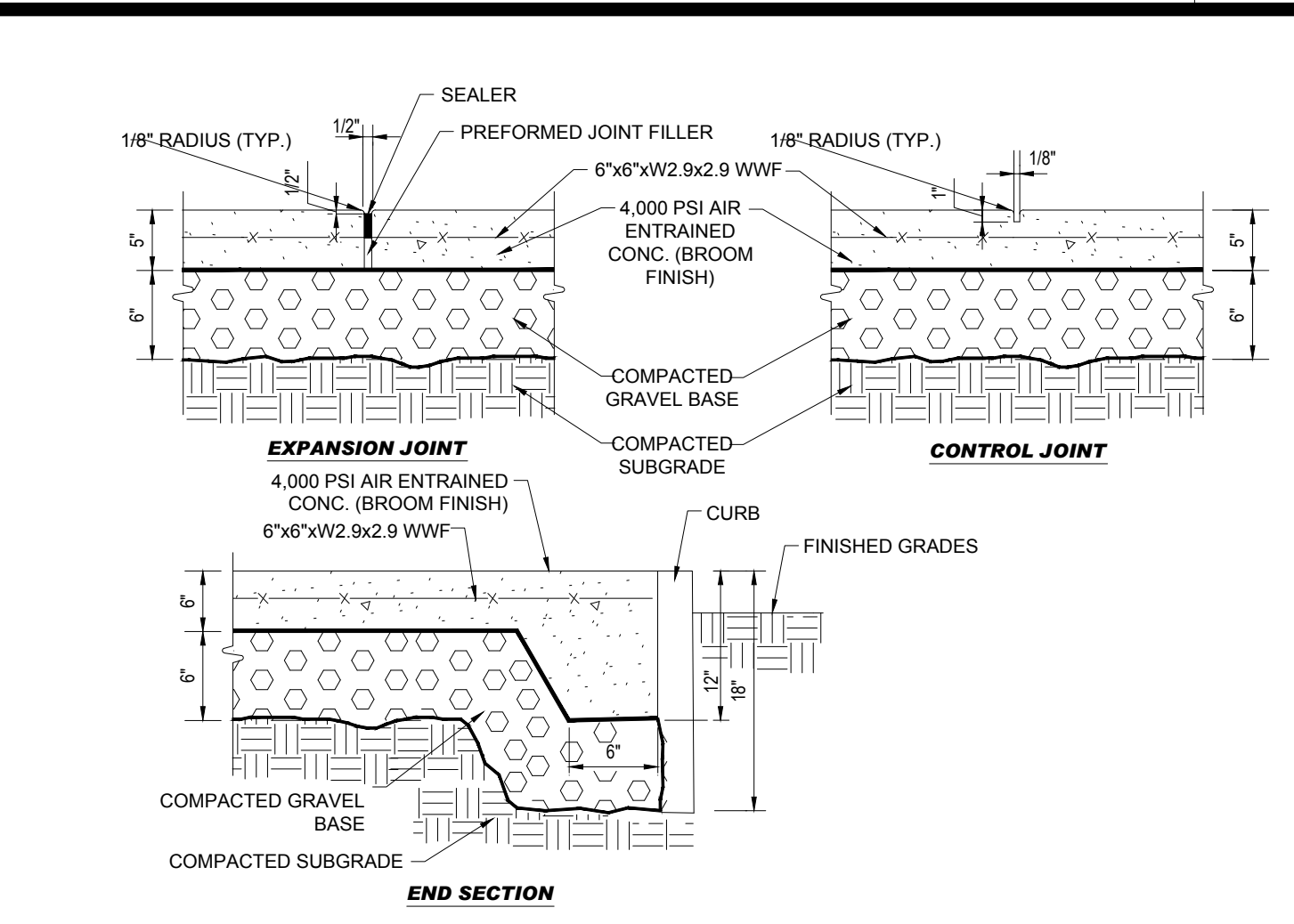
ACCESSIBLE PARKING STALL MARKINGS

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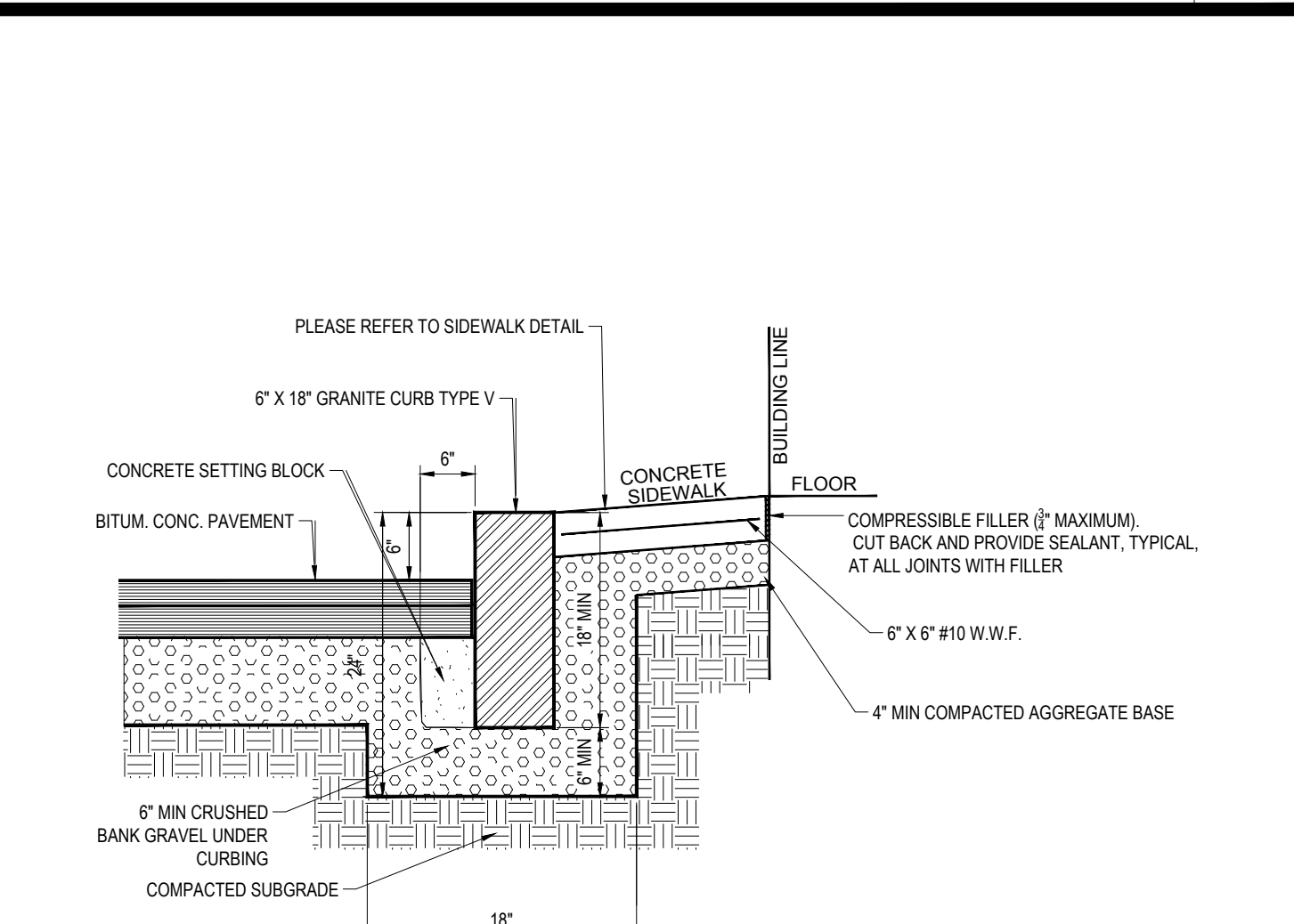
PRECAST CONCRETE CURB DETAIL

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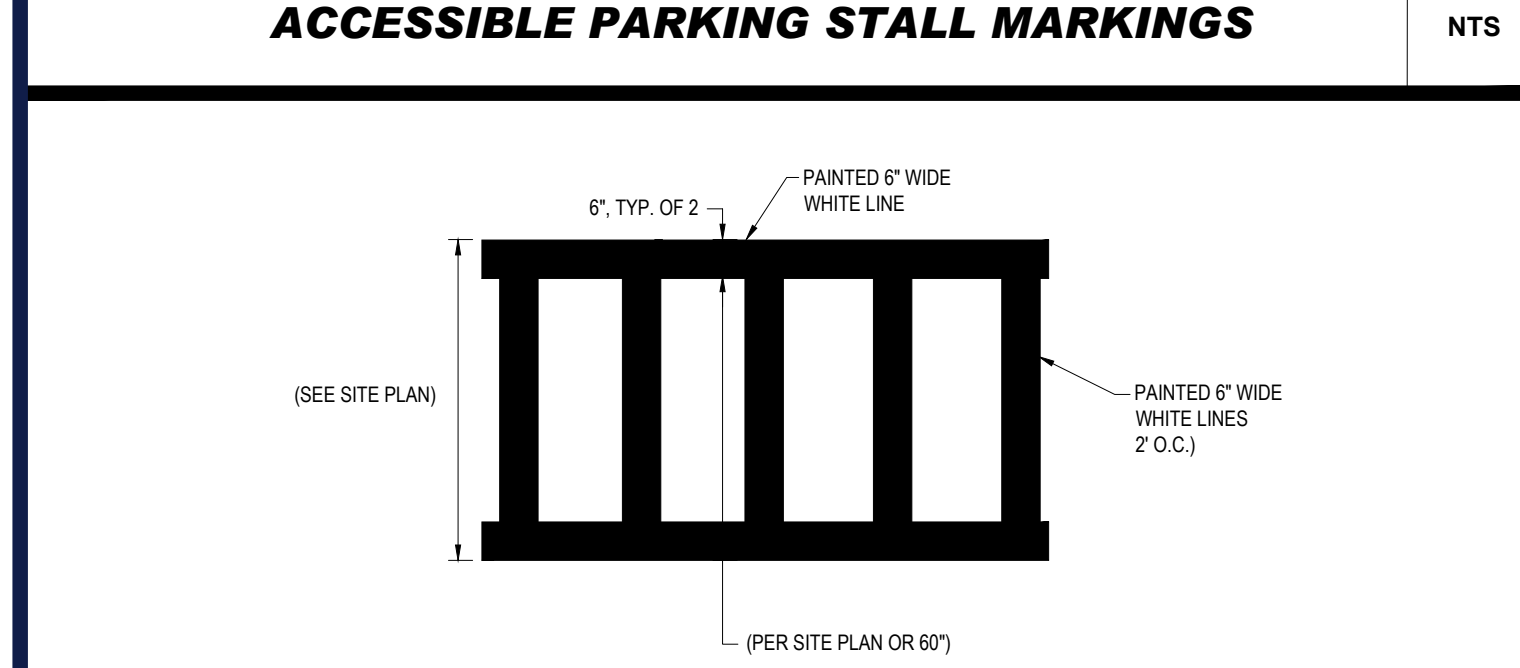
CONCRETE SIDEWALK

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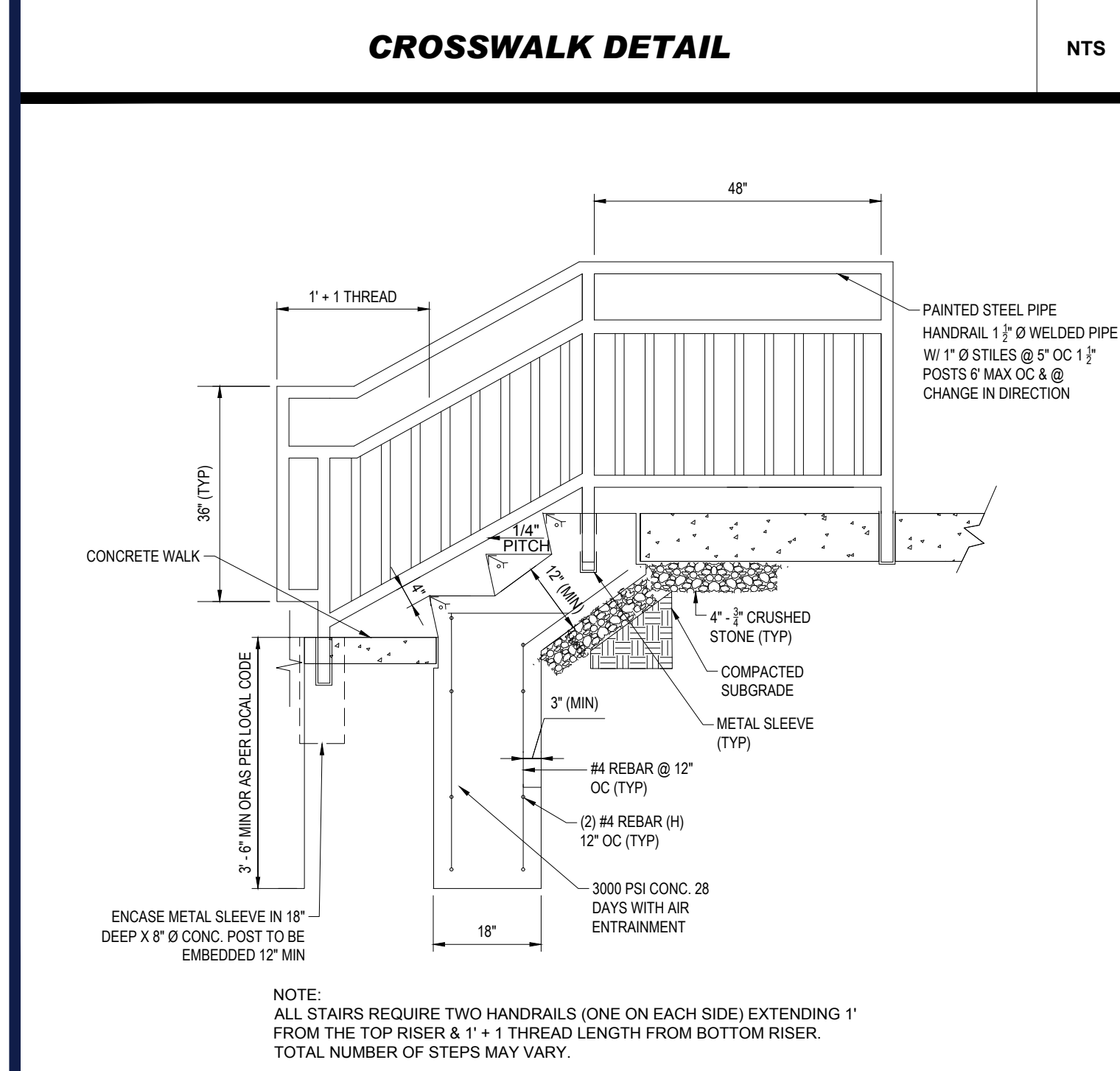
CONCRETE SIDEWALK WITH VERTICAL GRANITE CURBING

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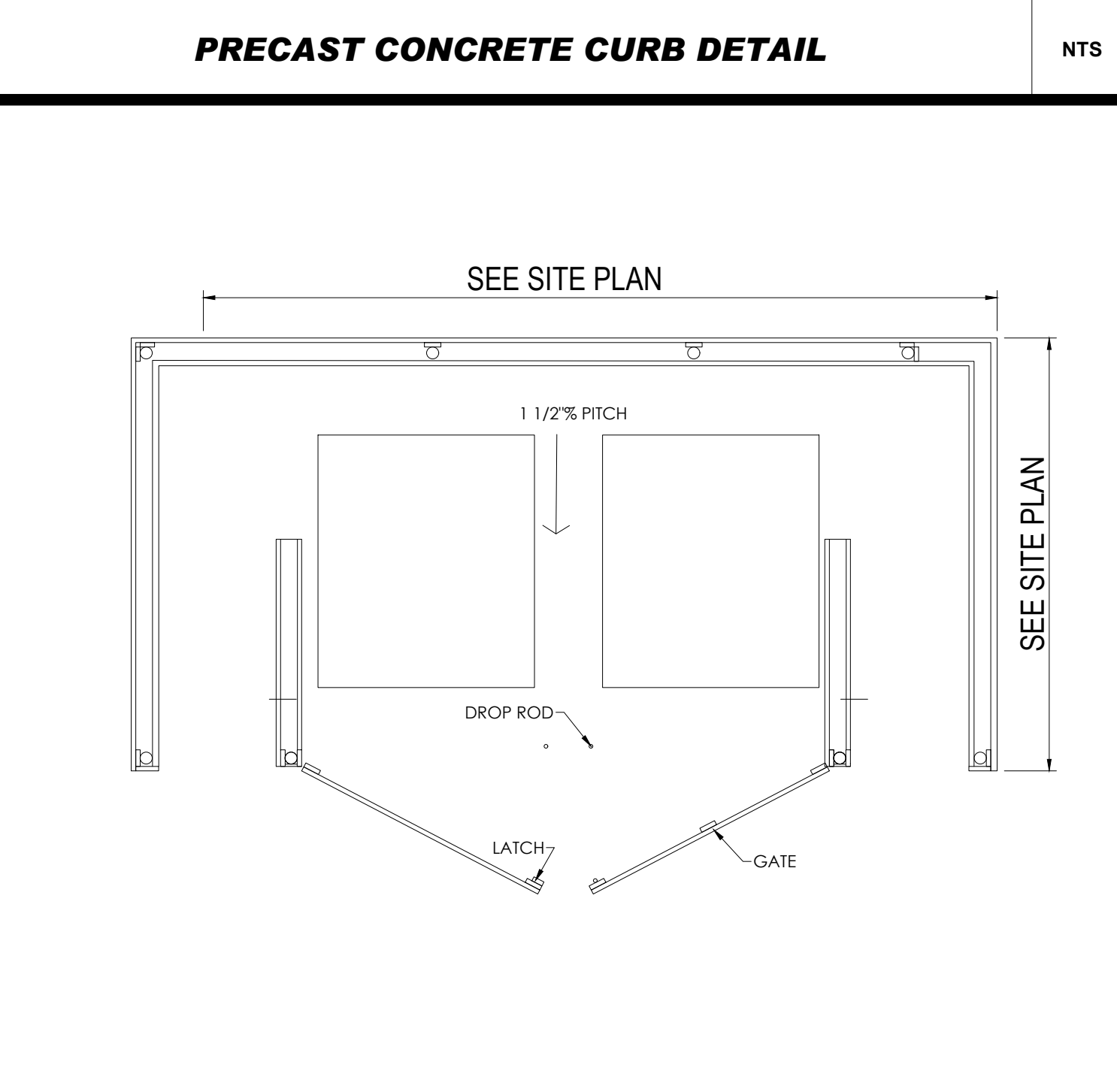
CROSSWALK DETAIL

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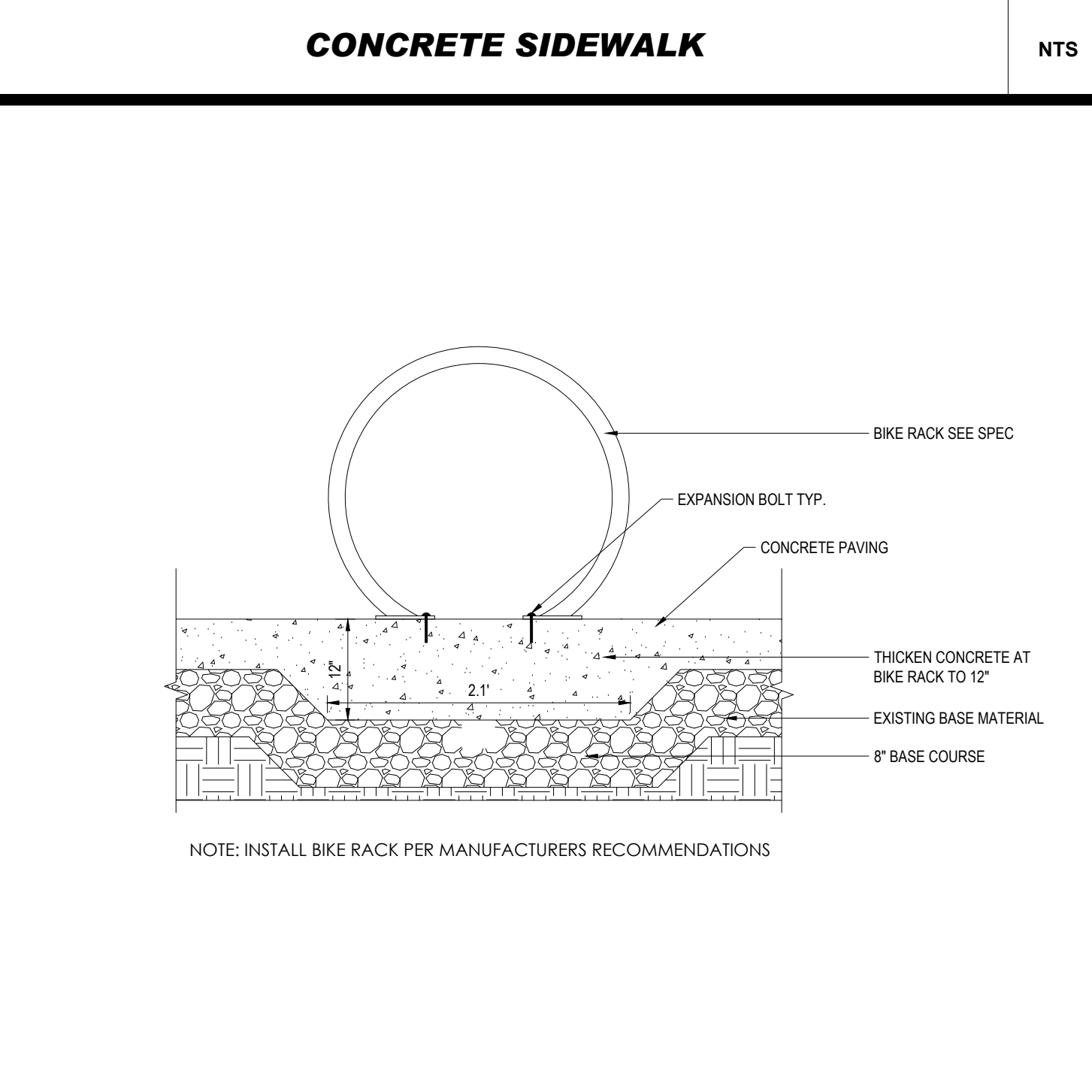
CONCRETE STEPS W/ HANDRAILS

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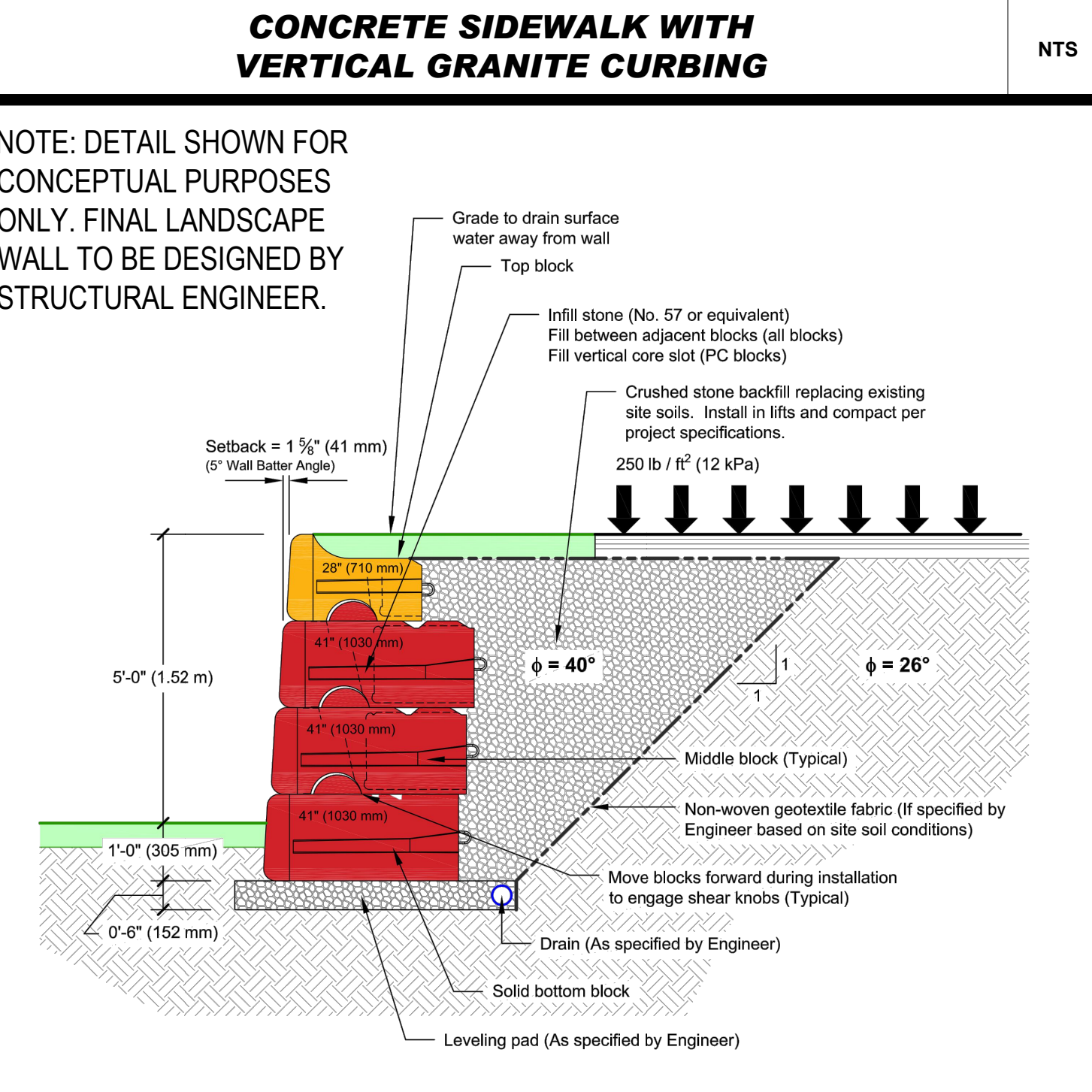
DUMPSTER ENCLOSURE DETAIL

NTS



BIKE RACK

NTS



REDI-ROCK LANDSCAPE WALL DETAIL

NTS

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 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	4/28/2023	ZBA COMMENTS	OCR
2	2/15/2024	PLANNING BOARD SUBMISSION	OCR

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PROJECT No.: MAA220072.00
 DRAWN BY: OCR / CSE
 CHECKED BY: MMA
 DATE: 03/09/2023
 CAD LD.: MAA220072.00-DET-2A

PROPOSED SITE PLAN DOCUMENTS

FOR

98 BEACON STREET LLC

PROPOSED DEVELOPMENT
 MAP: 3 LOT: 1A & 8 BEACON STREET, CITY OF WORCESTER, WORCESTER COUNTY, MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 www.BohlerEngineering.com

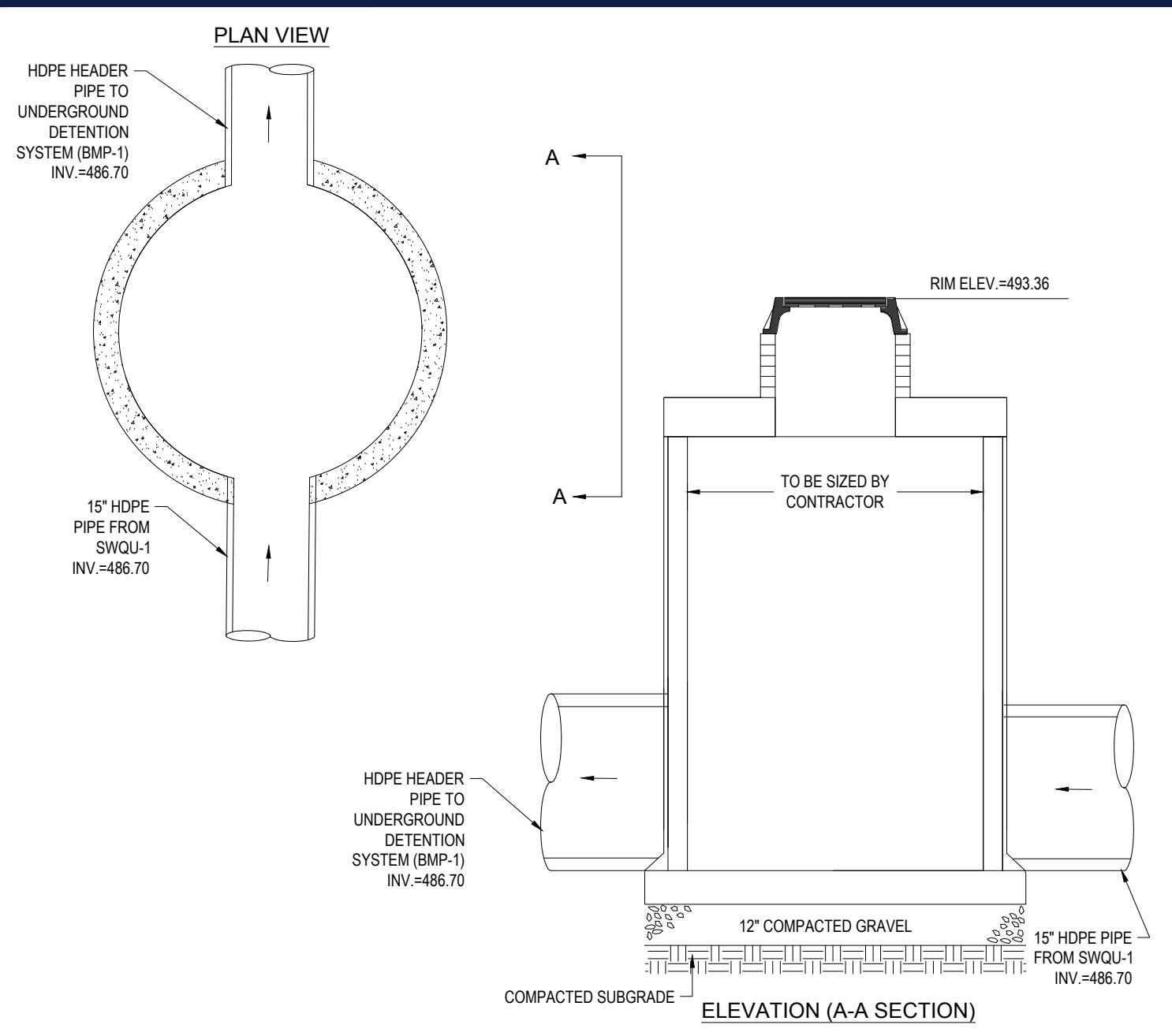
Professional Engineer Seal for John A. Bohler, No. 41530, State of Massachusetts.

DETAIL SHEET

SHEET NUMBER:
C-901

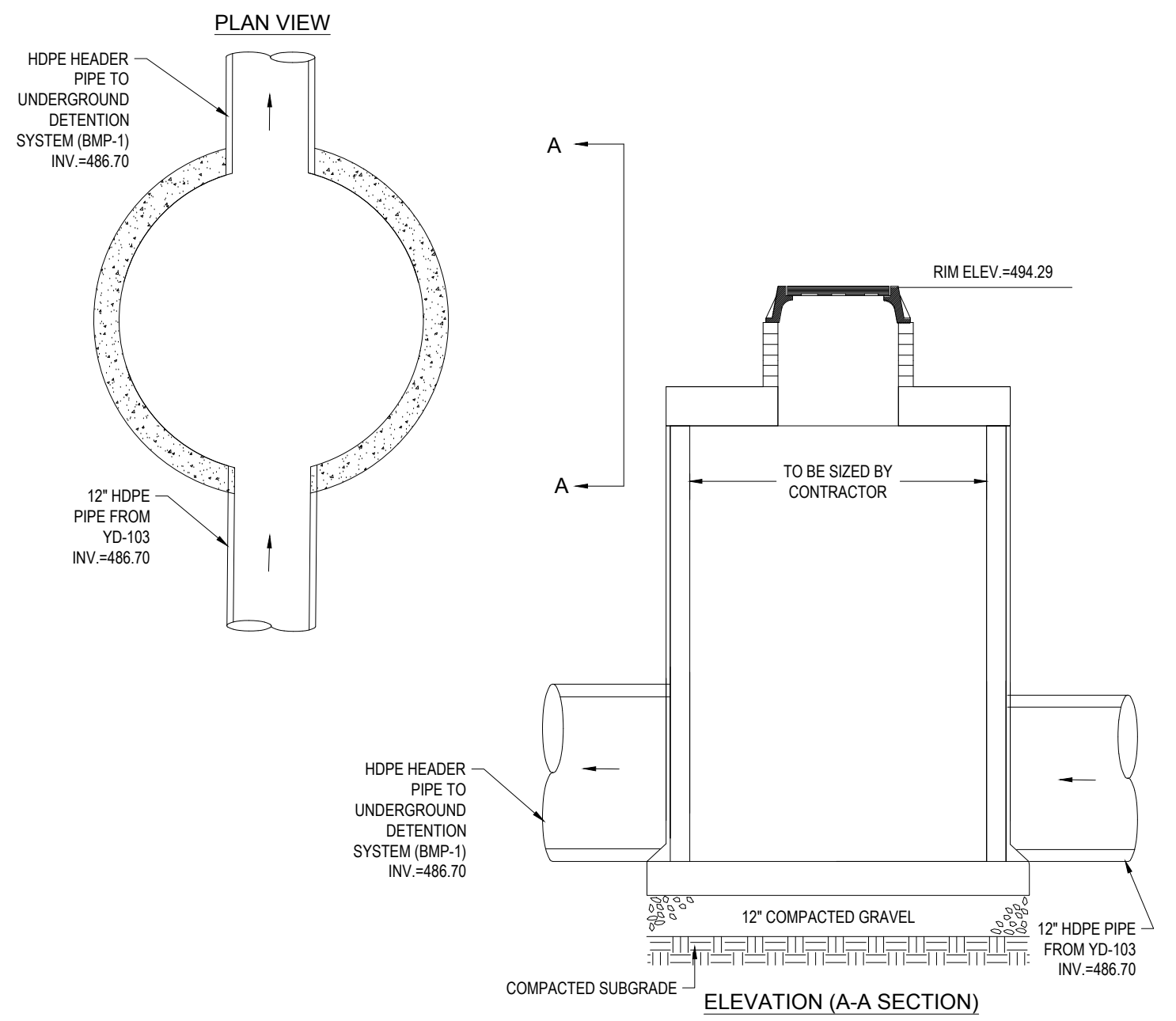
REVISION 2 - 2/15/2024

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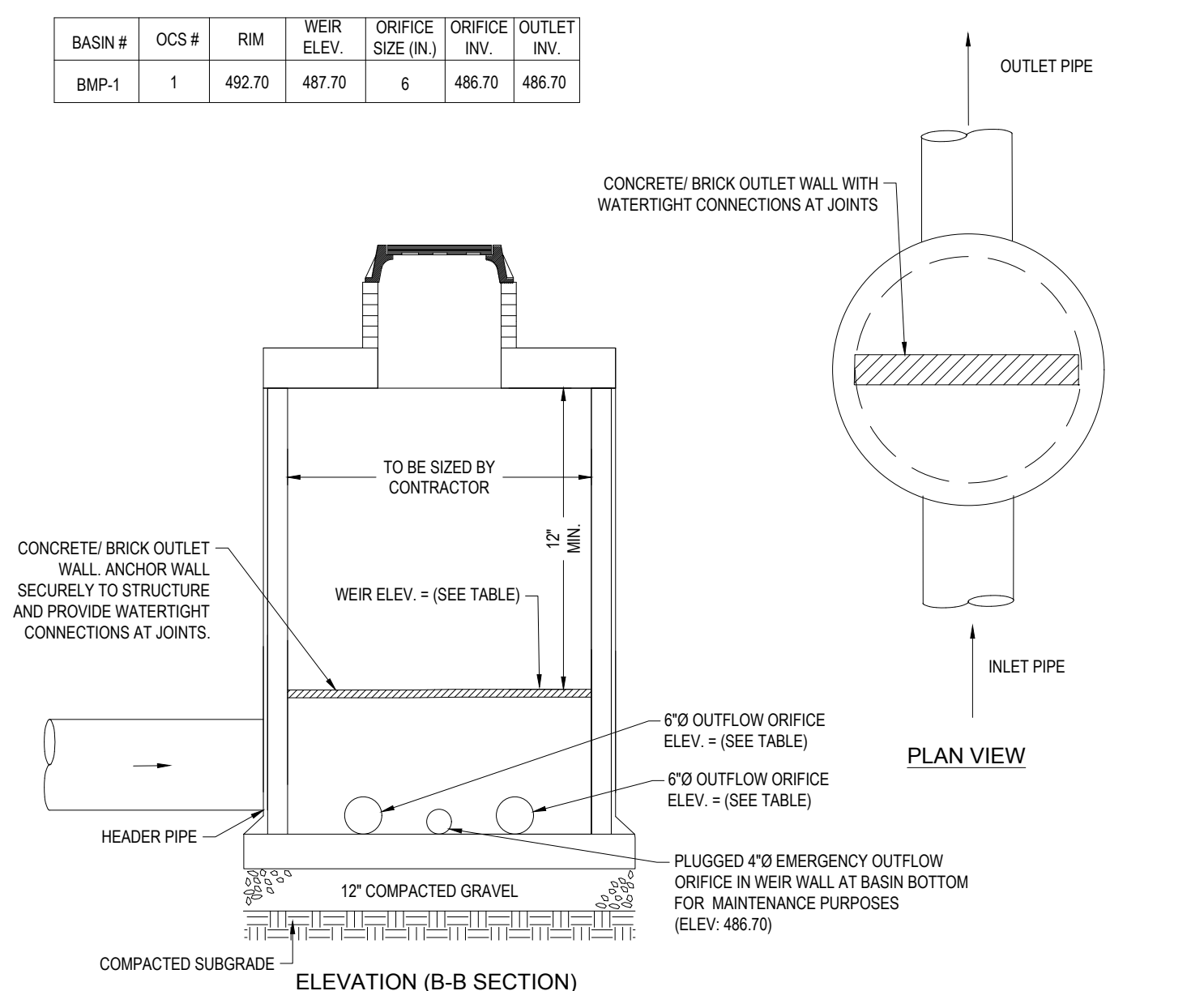
INLET CONTROL STRUCTURE 1 (ICS-1)

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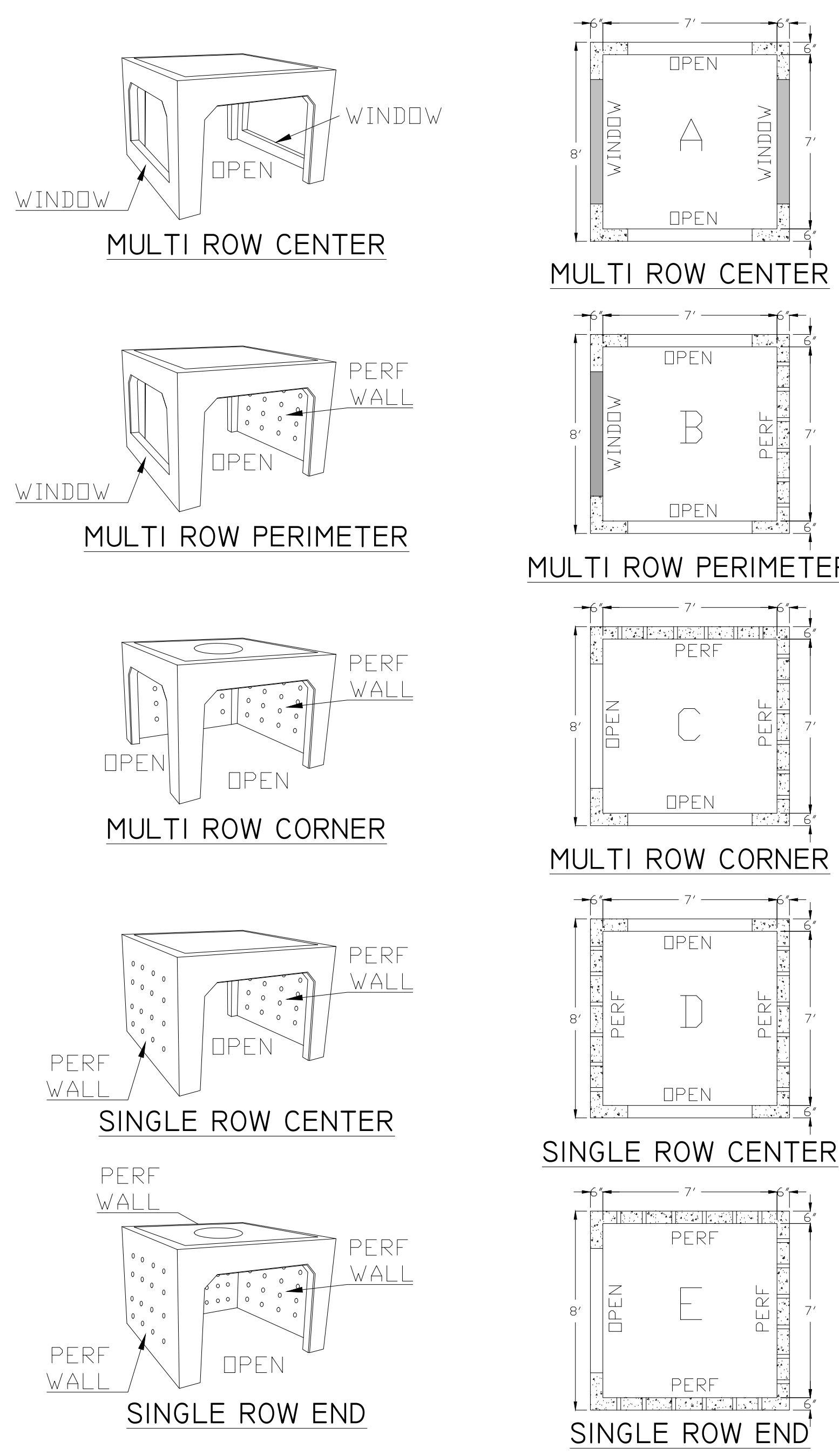
INLET CONTROL STRUCTURE 2 (ICS-2)

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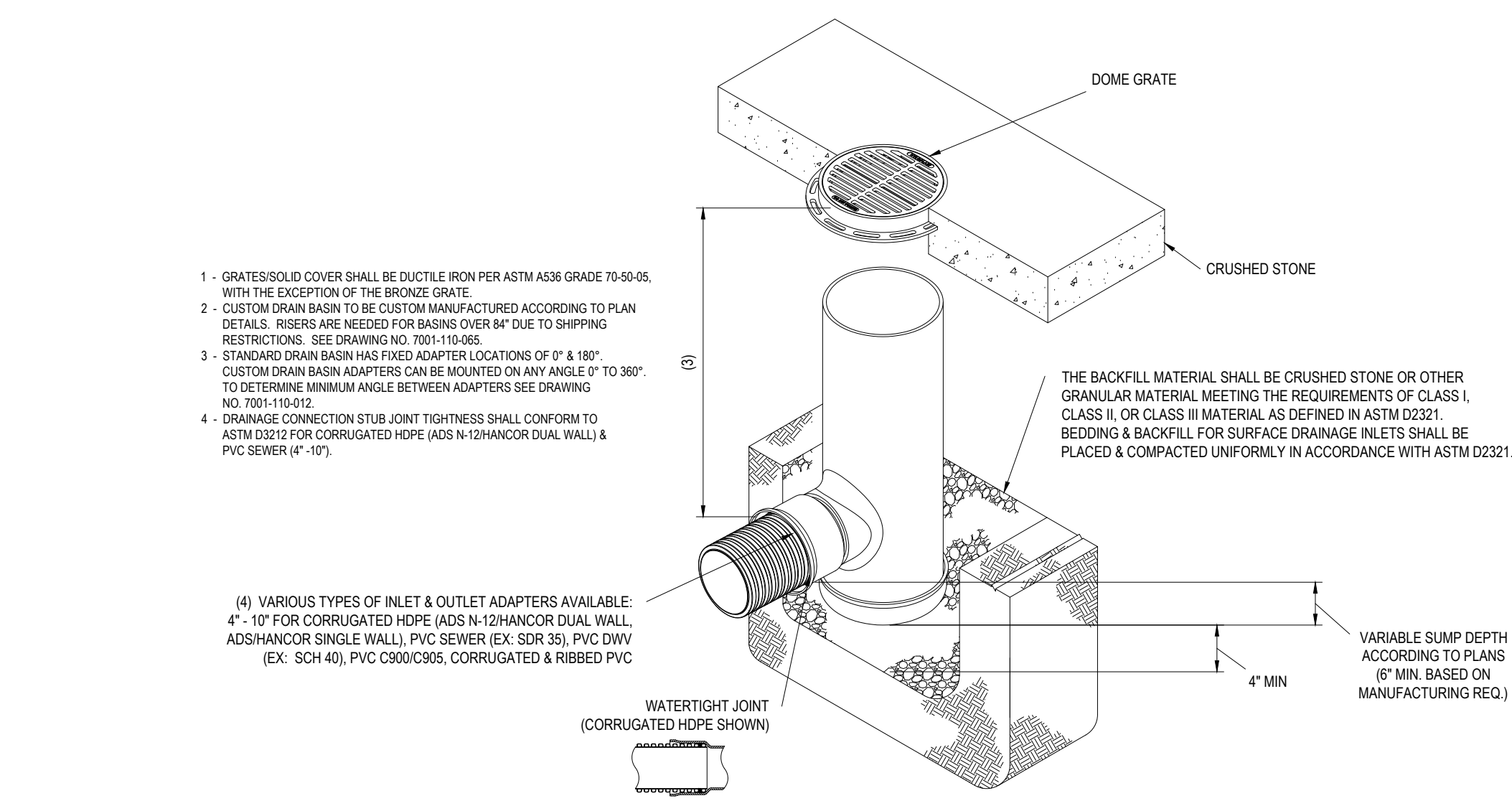
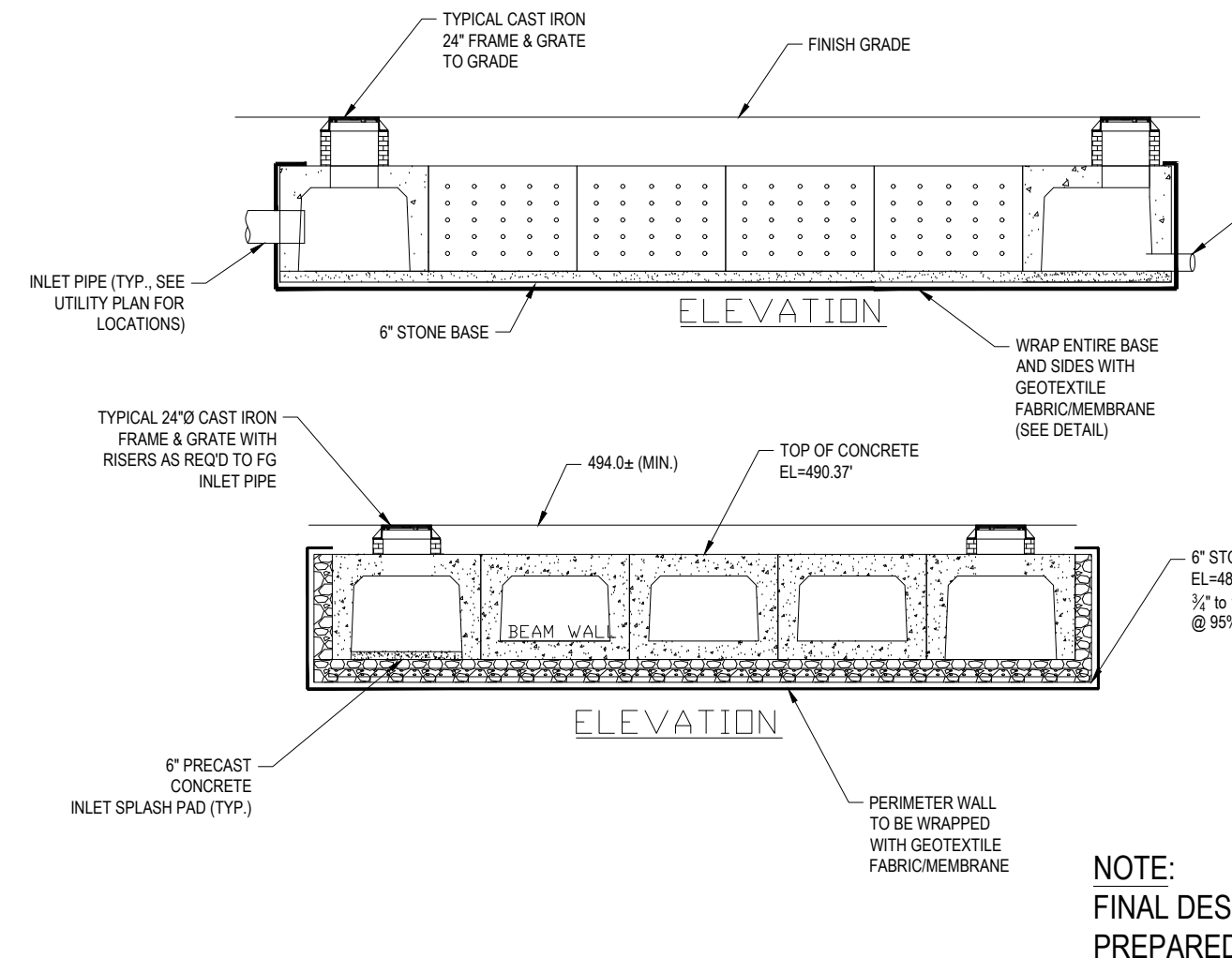
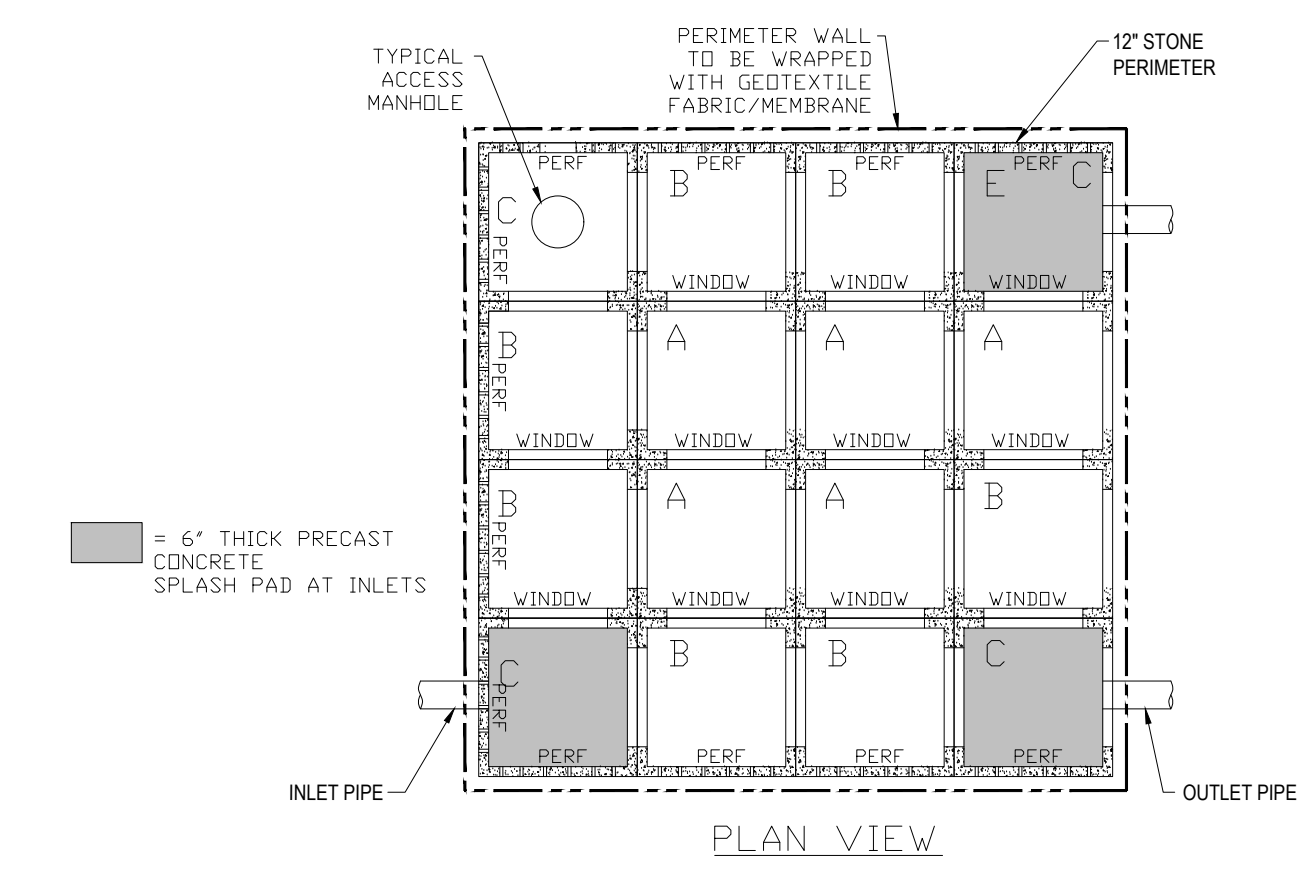
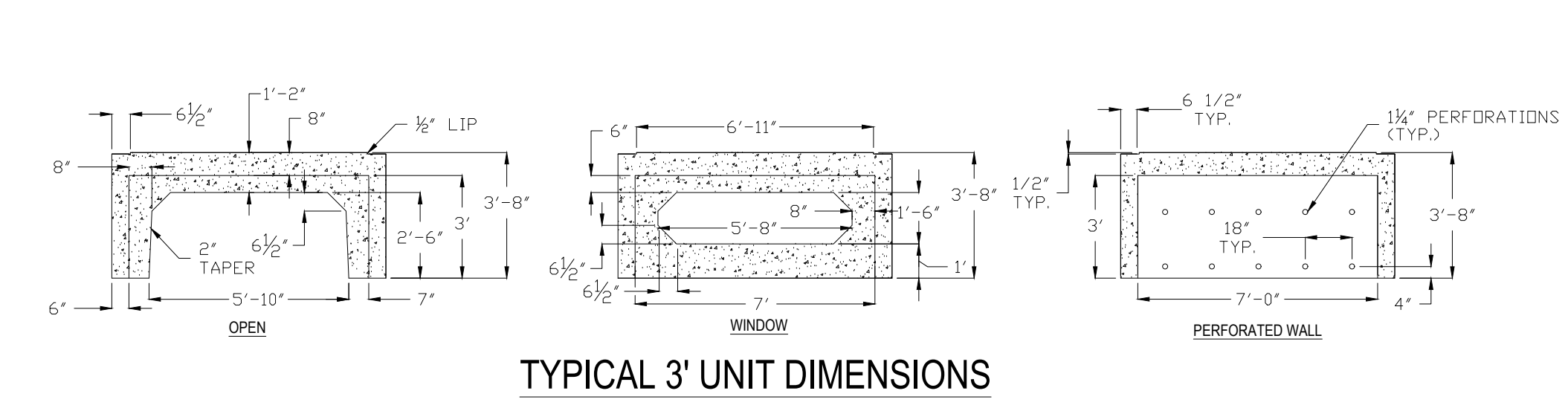
SUBSURFACE SYSTEM OUTLET CONTROL STRUCTURE DETAIL (OCS-1)

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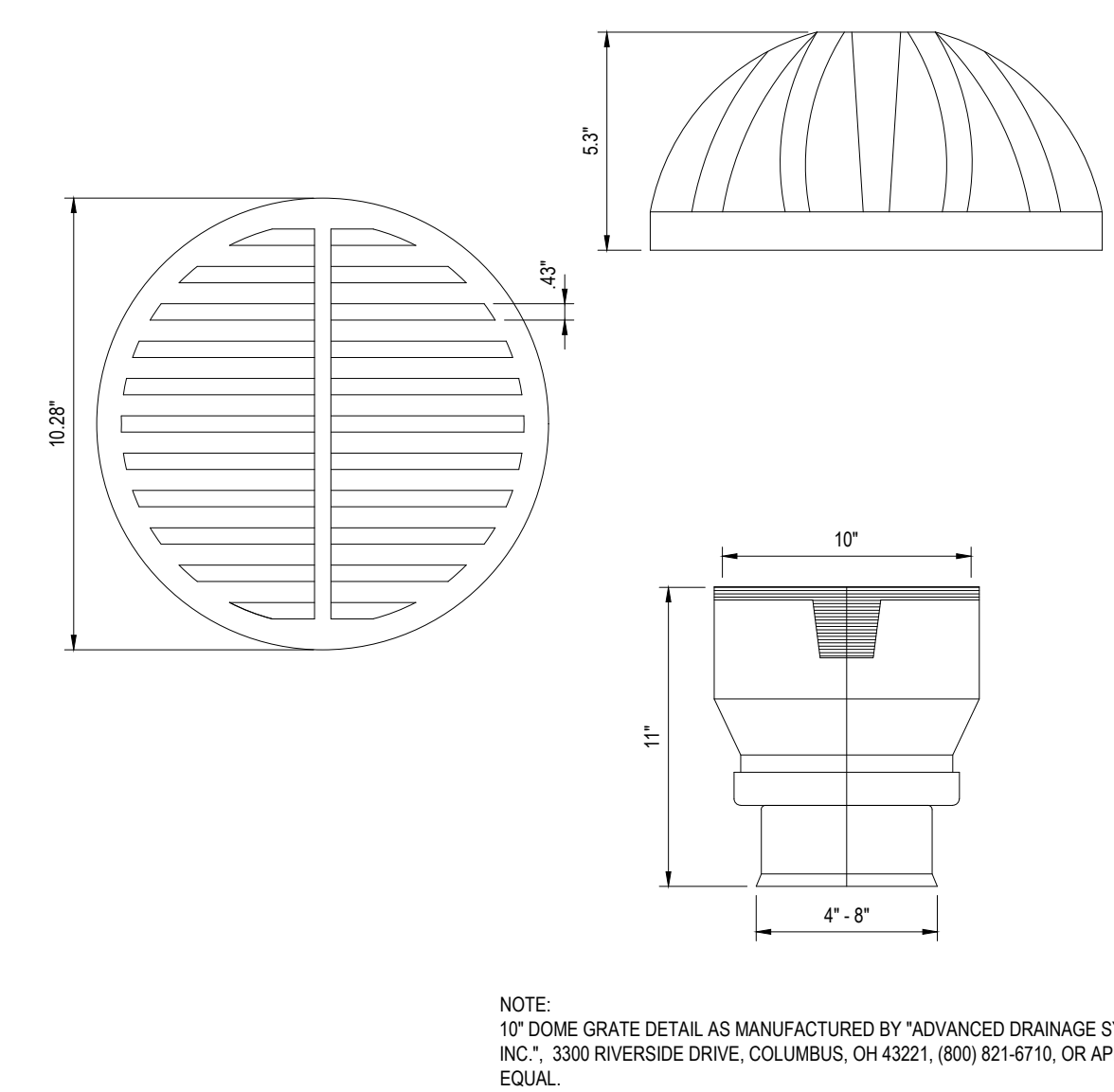
RETAIN-IT STORMWATER MANAGEMENT UNDERGRND DETENTION SYSTEM (BMP-1) DETAILS

NTS



NYLOPLAST 10" DRAIN BASIN: 2810AG __ X

NTS



NYLOPLAST DRAIN INLET

NTS



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2	2/15/2024	PLANNING BOARD SUBMISSION	OCR	MMA



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PROJECT No.:	MAA220072.00
DRAWN BY:	OCR / CSE
CHECKED BY:	MMA
DATE:	03/02/2023
CAD I.D.:	MAA220072.00-DET-2A

PROPOSED SITE PLAN DOCUMENTS

FOR

98 BEACON STREET LLC

PROPOSED DEVELOPMENT

MAP: 3 LOT: 1A & 8 BEACON STREET, CITY OF WORCESTER, WORCESTER COUNTY, MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

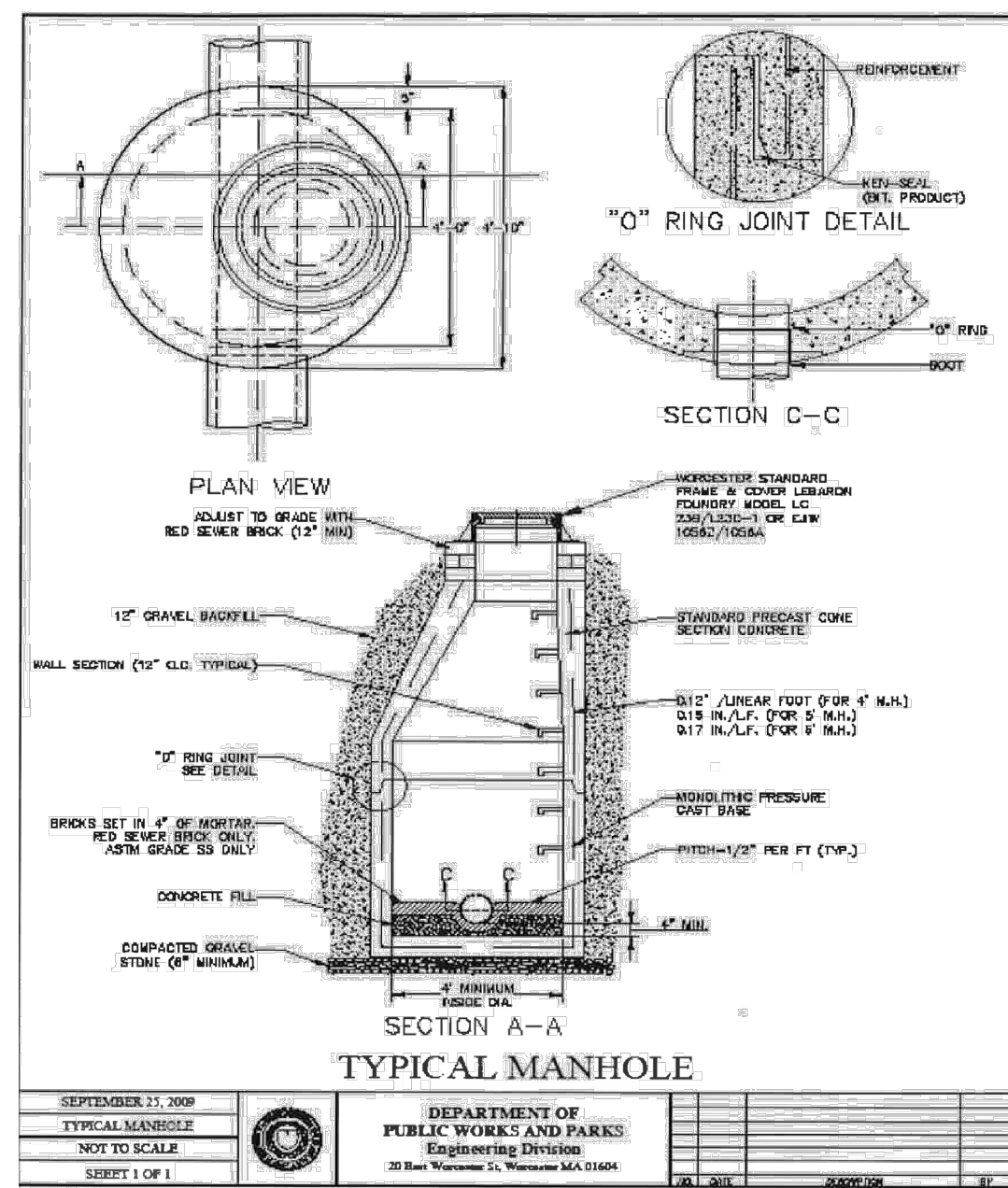
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DETAIL SHEET

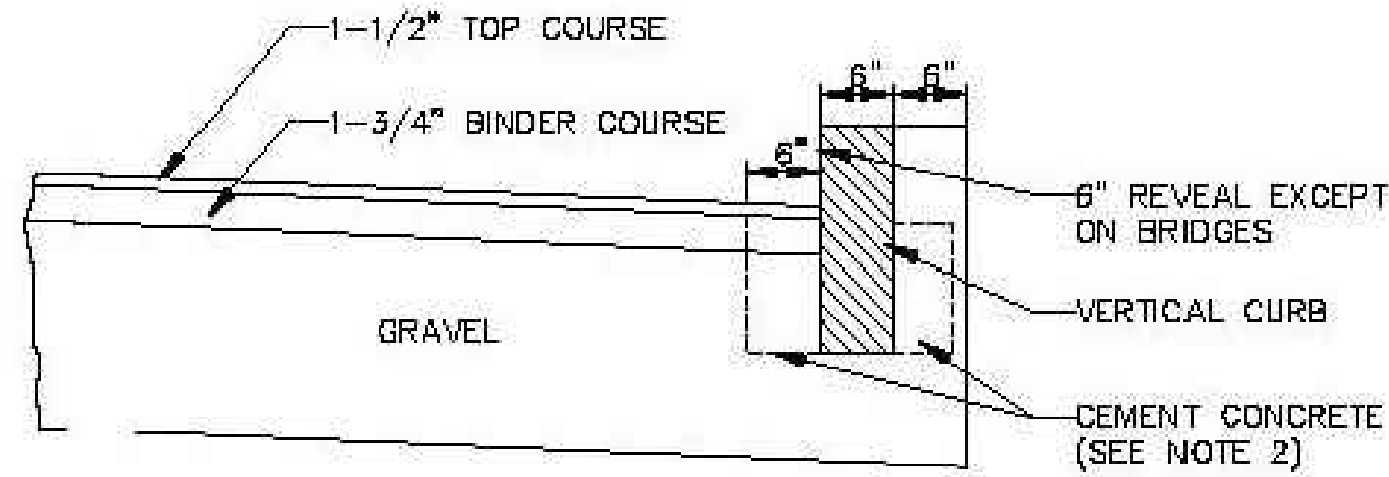
SHEET NUMBER: **C-902**

REVISION 2 - 2/15/2024



CITY OF WORCESTER TYP. DRAIN MANHOLE DETAIL

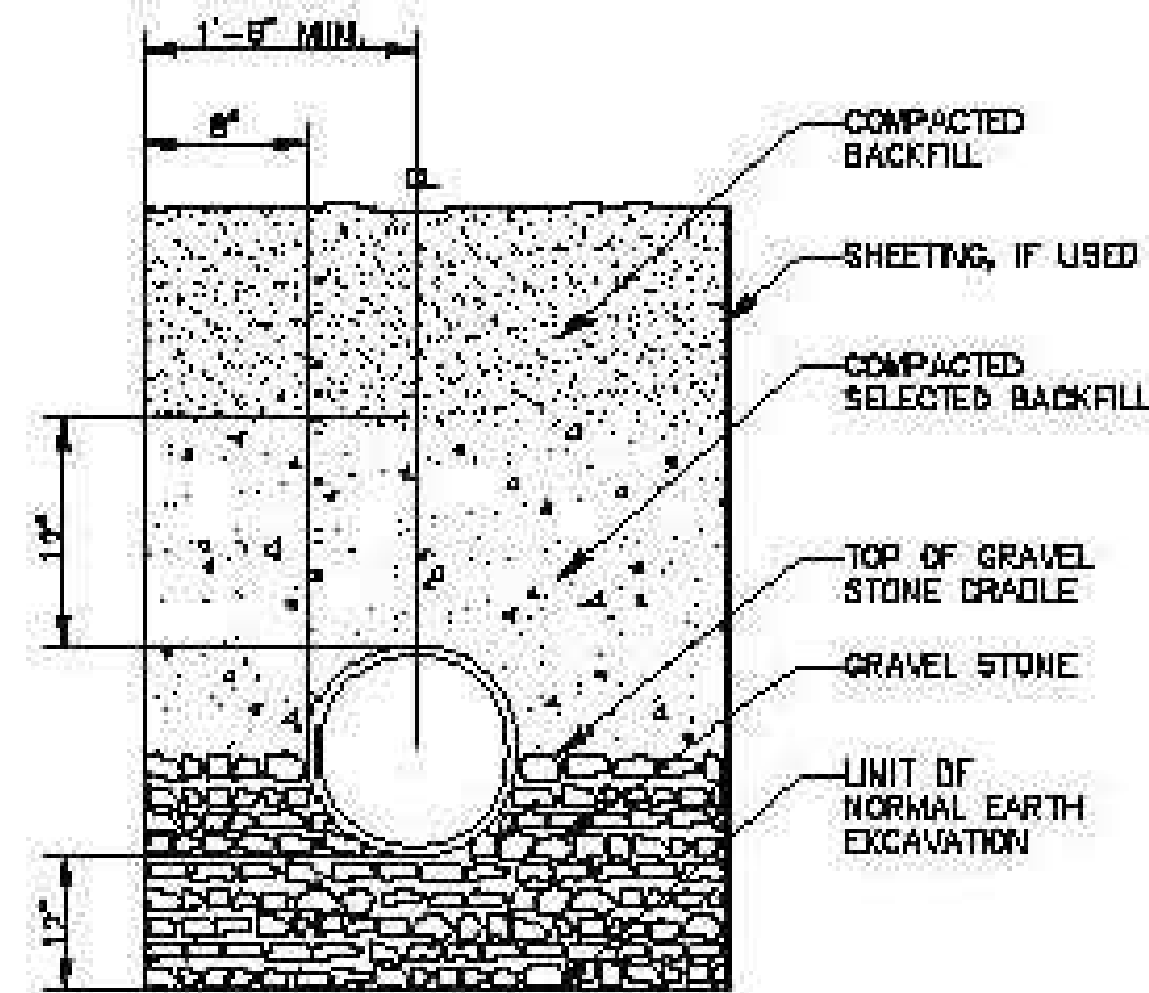
NTS



- NOTES:**
- CUT NEAR LINE 6" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE, REPLACE WITH CEMENT CONCRETE.
 - ANY CLASS CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPARTMENT UNDER SECTION M4 OF THE 1973 STANDARD SPECIFICATIONS. ALL TEST REQUIREMENTS ARE WAIVED. BITUMINOUS CONCRETE SHALL NOT BE USED AS A SUBSTITUTE.
 - PAYMENT FOR CLASS B CONCRETE WILL BE PAID FOR UNDER ITEM 446.1.

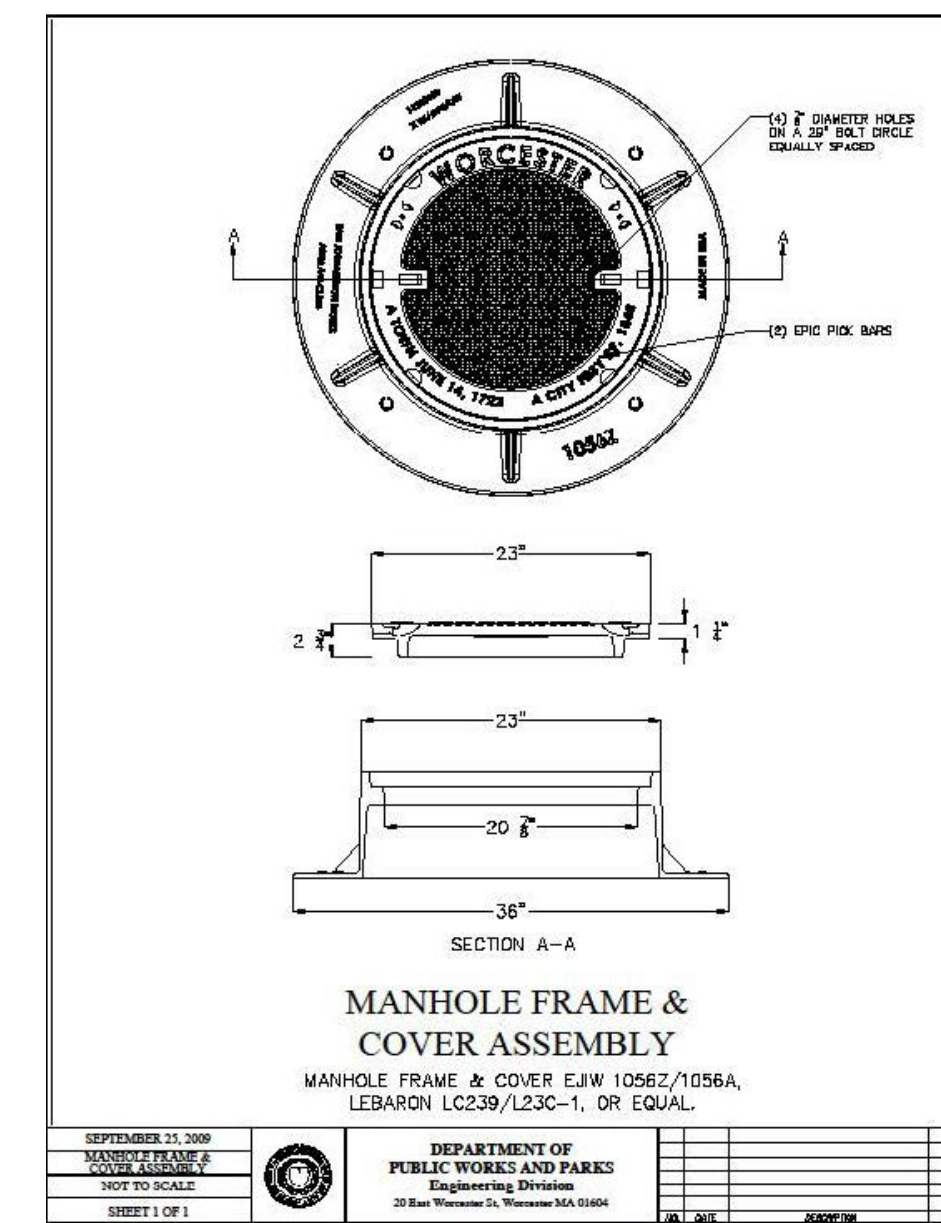
CITY OF WORCESTER METHOD OF SETTING VERTICAL CURB DETAIL

NTS



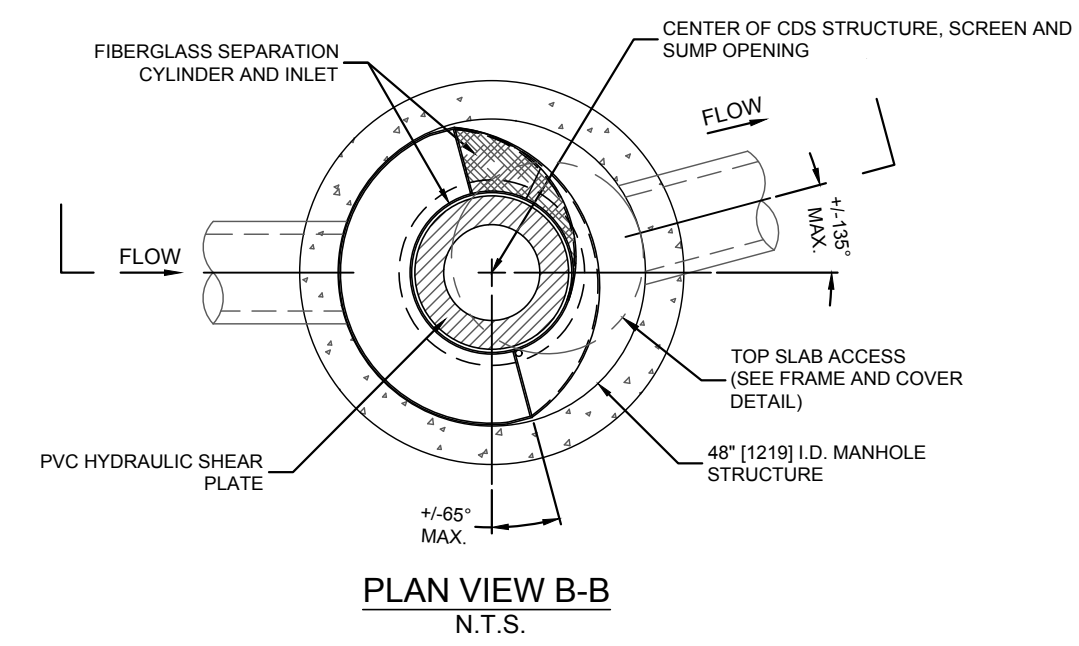
CITY OF WORCESTER TYPICAL DRAIN MAIN TRENCH

NTS

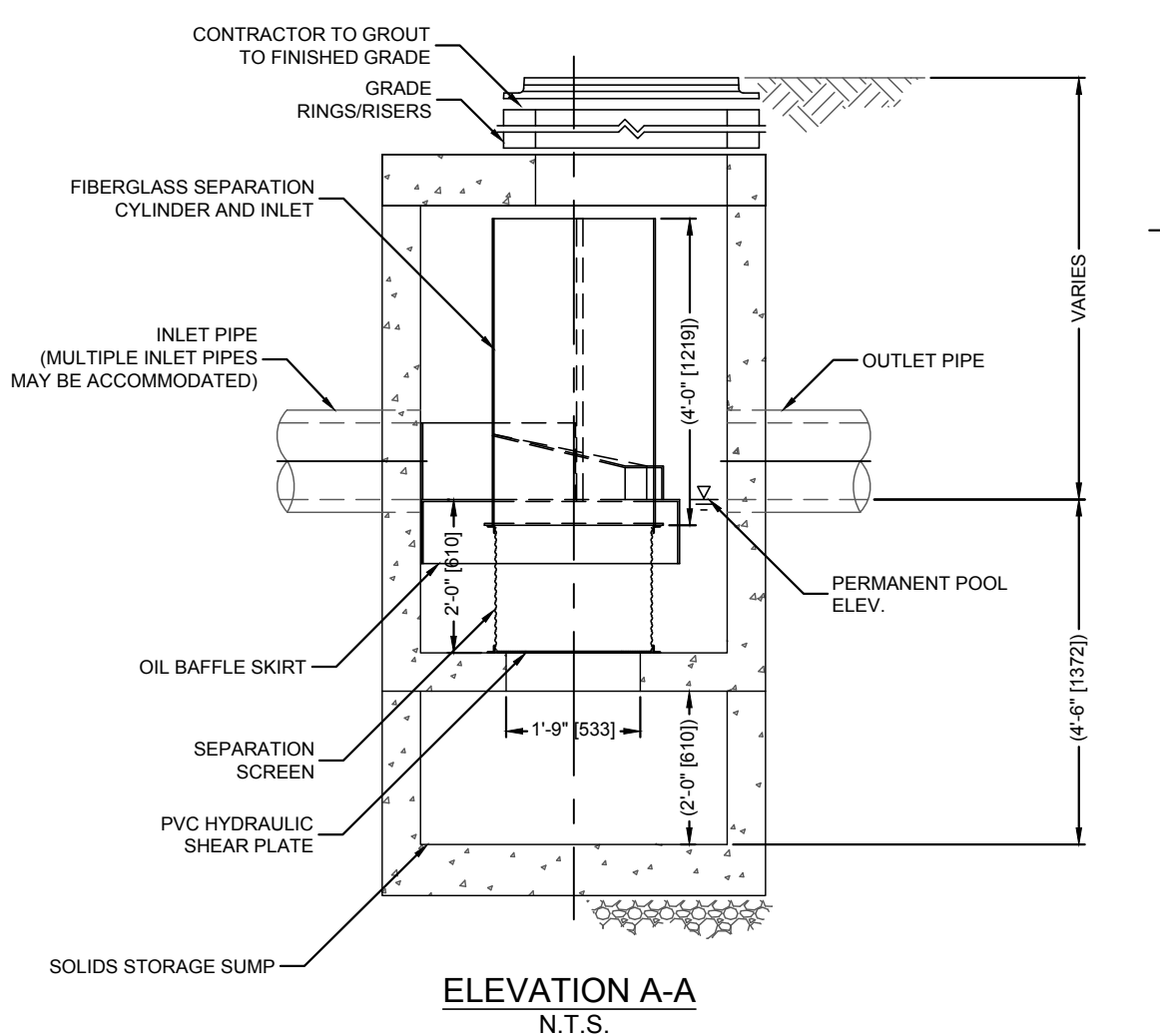


CITY OF WORCESTER MANHOLE FRAME AND COVER DETAIL

NTS



PLAN VIEW B-B
N.T.S.

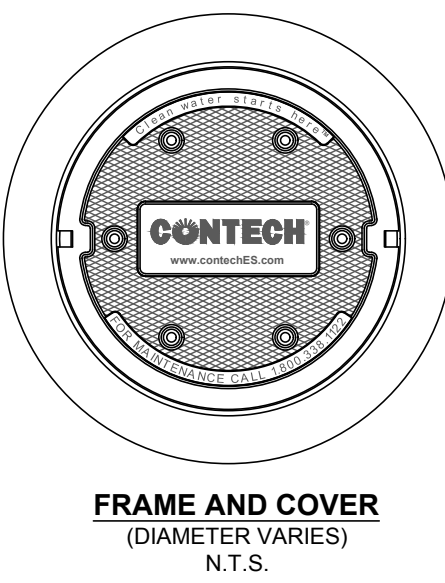


ELEVATION A-A
N.T.S.

CDS2015-4-C DESIGN NOTES

THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRADED INLET ONLY (NO INLET PIPE)
GRADED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	ID
WATER QUALITY FLOW RATE (CFS OR L/s)	WQFLOW
PEAK FLOW RATE (CFS OR L/s)	PEAK
RETURN PERIOD OF PEAK FLOW (YRS)	RETURN
SCREEN APERTURE (2400 OR 4700)	MICRON

PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	ELEV	MATERIAL	DIAM
INLET PIPE 2	ELEV	MATERIAL	DIAM
OUTLET PIPE	ELEV	MATERIAL	DIAM

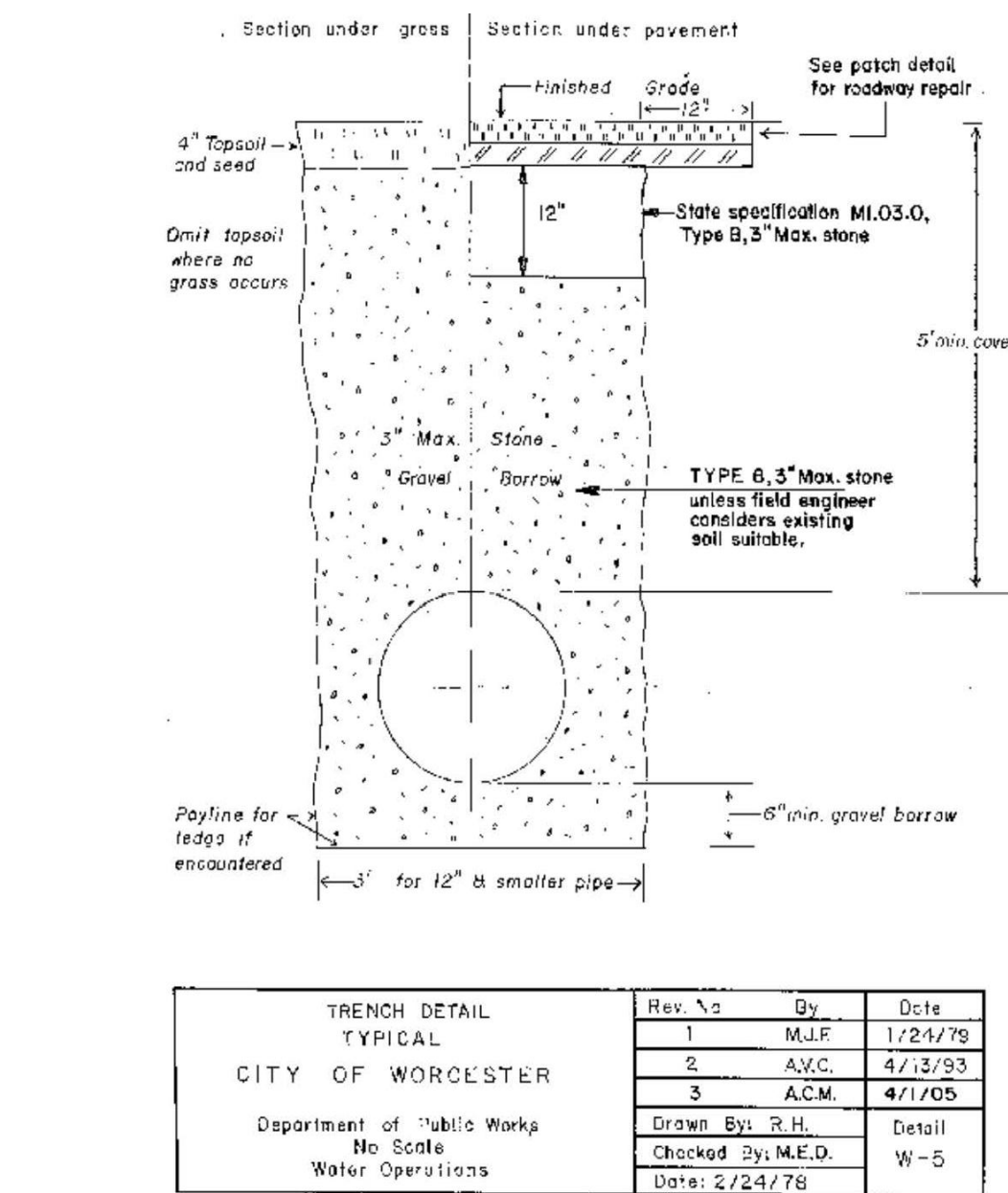
RIM ELEVATION	RIM
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
NOTES/SPECIAL REQUIREMENTS:	WIDTH HEIGHT

* PER ENGINEER OF RECORD

- GENERAL NOTES:**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO H220 AND CASTINGS SHALL MEET H220 (AASHTO M 300) LOAD RATINGS, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES:**
- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

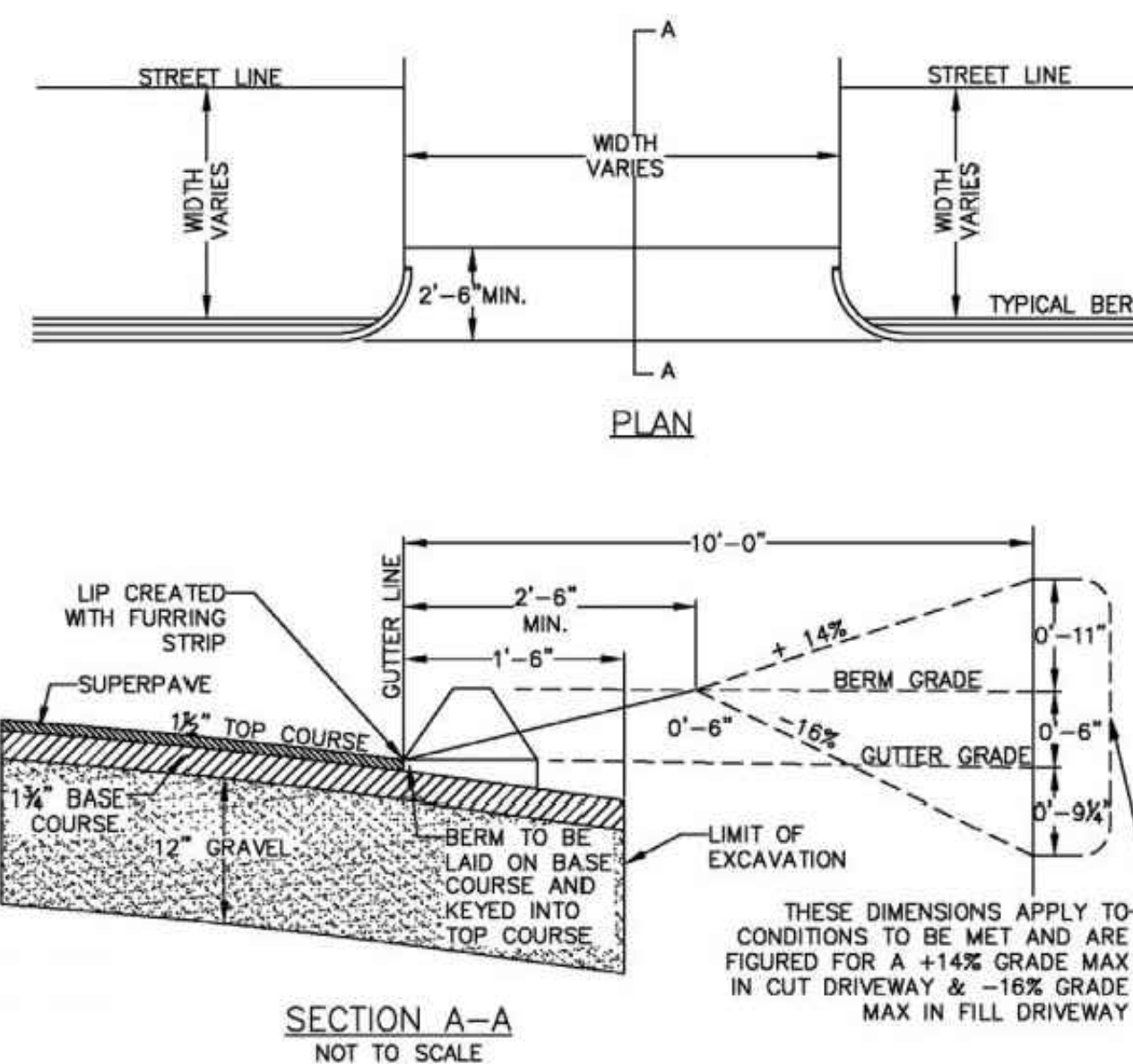
CDS2015-4-C ONLINE CDS STANDARD DETAIL (SWQU-1)

NTS



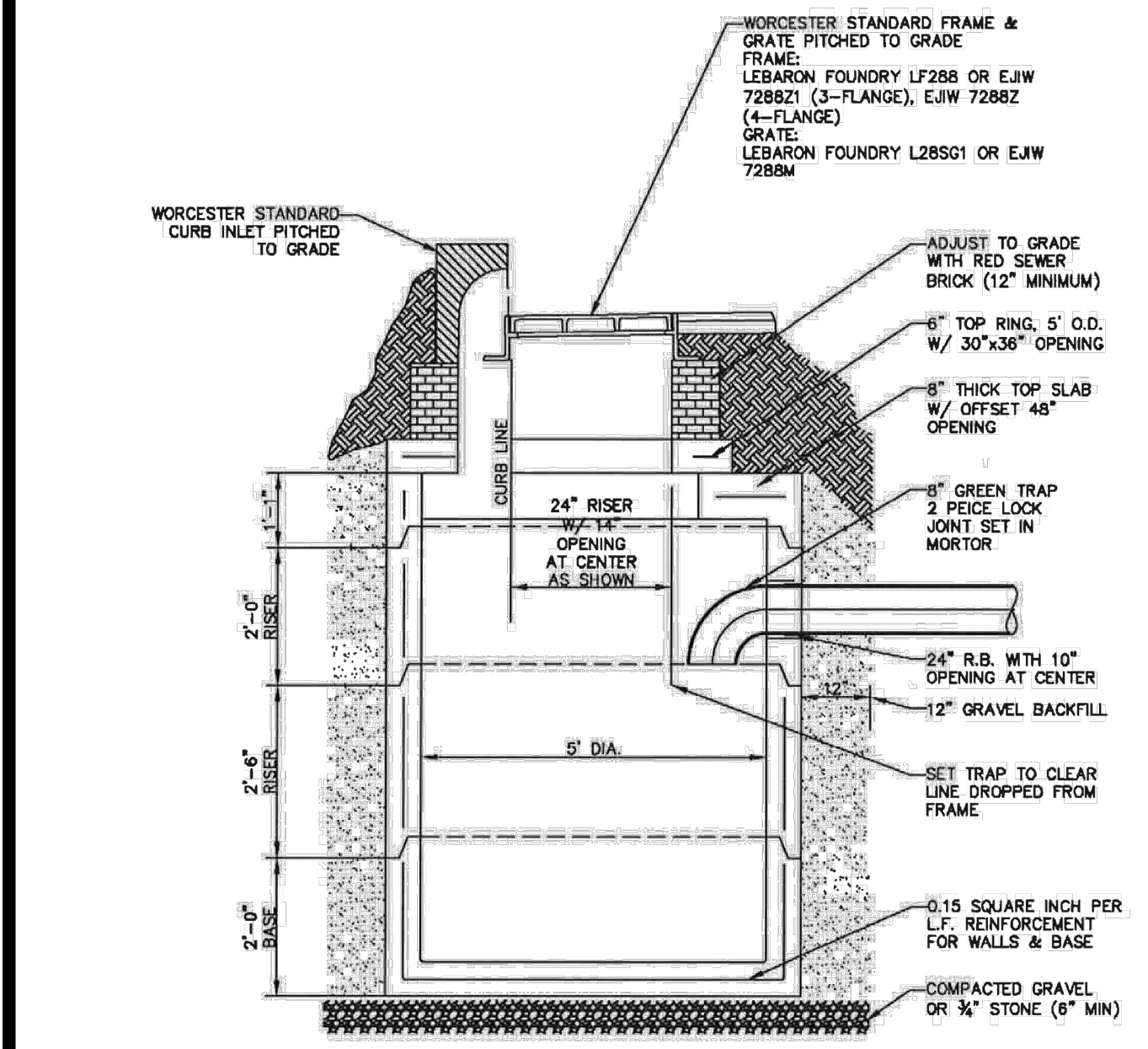
CITY OF WORCESTER TYPICAL TRENCH DETAIL

NTS



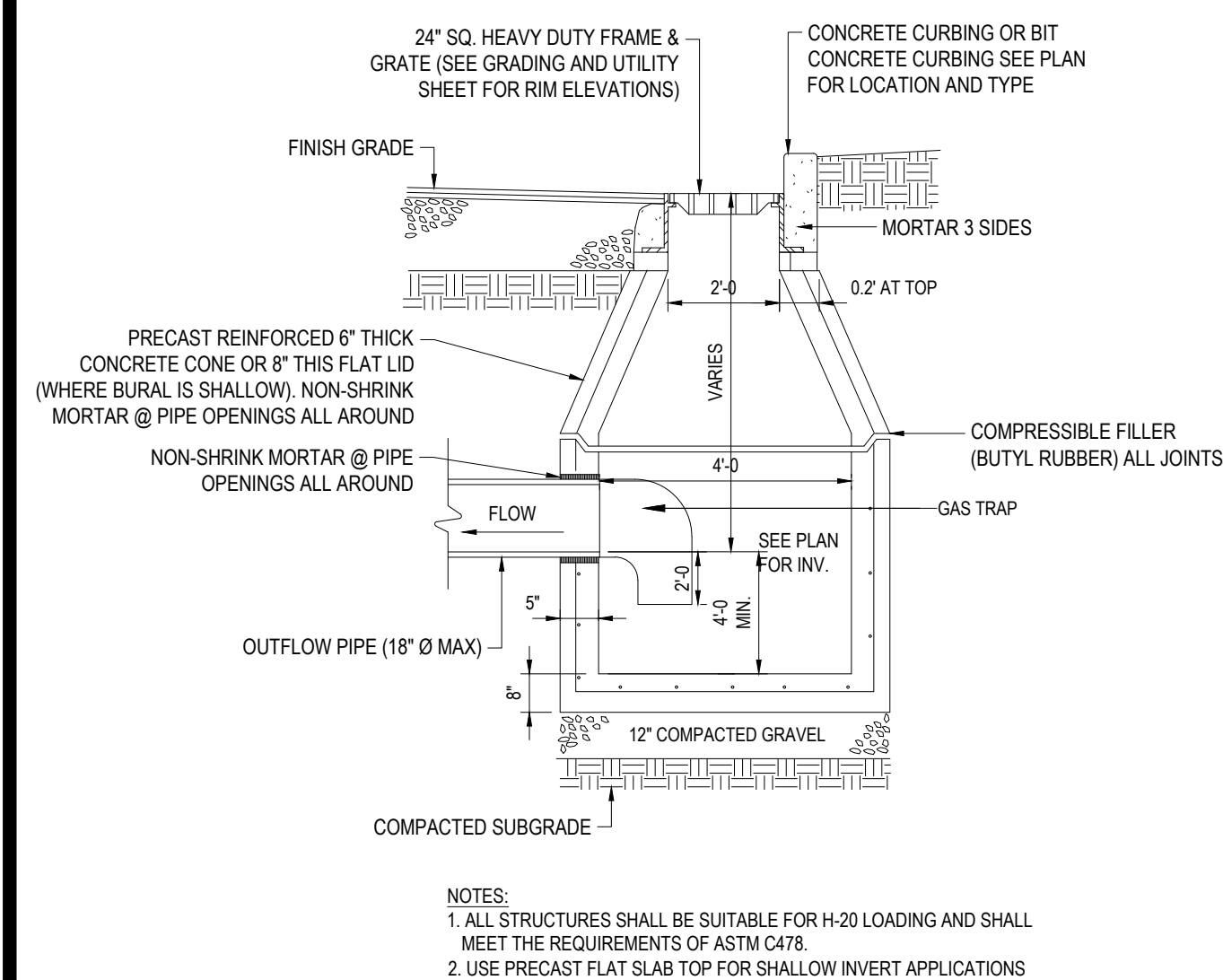
CITY OF WORCESTER DRIVEWAY OPENING DETAIL

NTS



CITY OF WORCESTER PRECAST CATCH BASIN DETAIL

NTS



PRECAST CONCRETE DEEP SUMP CATCH BASIN

NTS



REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	4/28/2023	ZBA COMMENTS	OCR
2	2/15/2024	PLANNING BOARD SUBMISSION	OCR



PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MAA220072.00
DRAWN BY: OCR / CSE
CHECKED BY: MMA
DATE: 03/03/2023
CAD ID: MAA220072.00-DET-2A

PROPOSED SITE PLAN DOCUMENTS

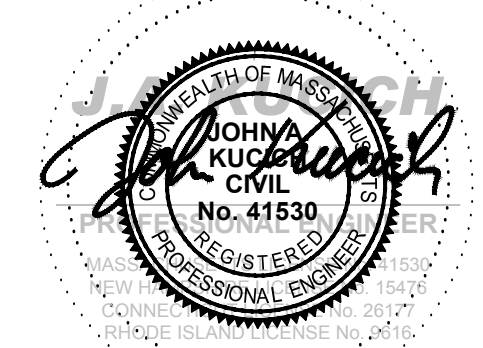
FOR

98 BEACON STREET LLC

PROPOSED DEVELOPMENT
MAP: 3 LOT: 1A & 8
BEACON STREET,
CITY OF WORCESTER,
WORCESTER COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

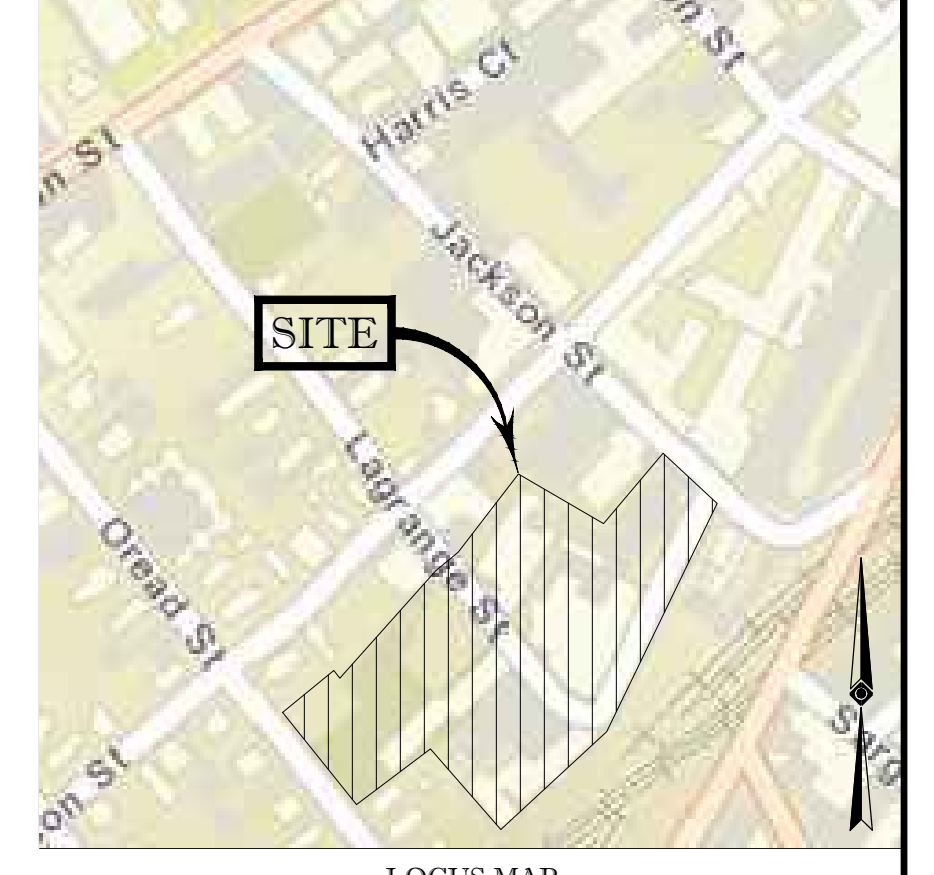
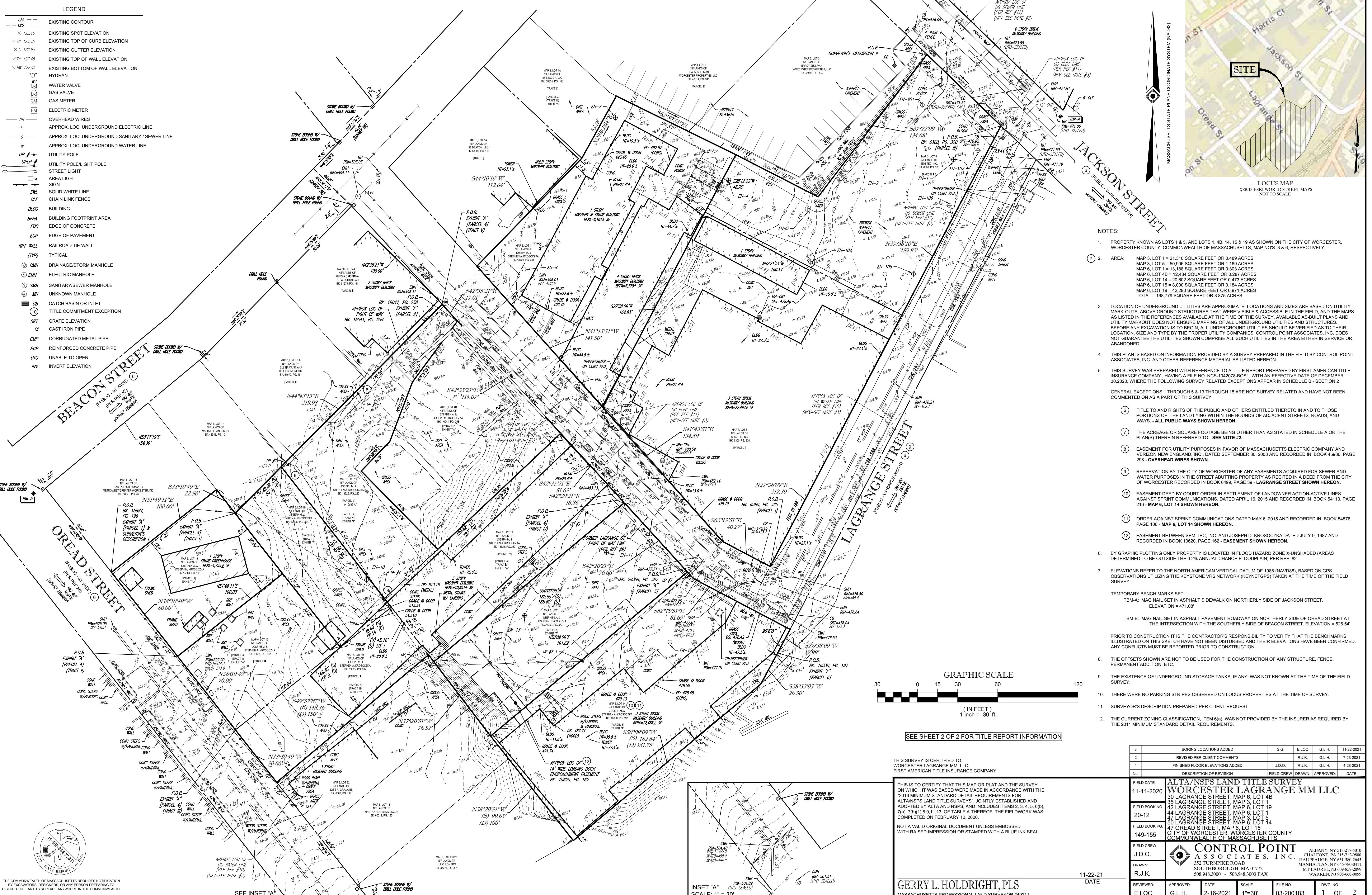


DETAIL SHEET

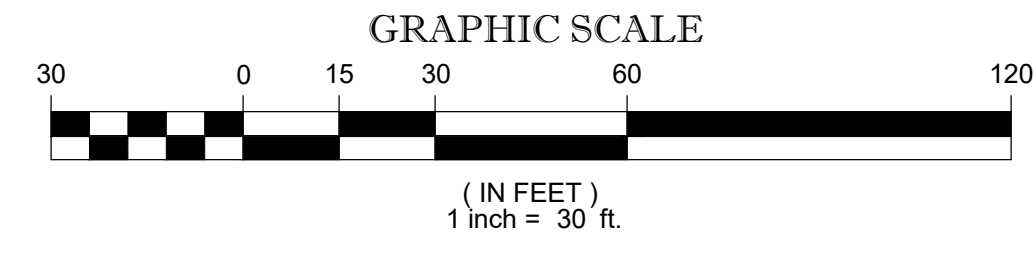
SHEET NUMBER:
C-903

REVISION 2 - 2/15/2024

LEGEND	
---	EXISTING CONTOUR
x 123.45	EXISTING SPOT ELEVATION
x T 123.45	EXISTING TOP OF CURB ELEVATION
x G 123.45	EXISTING GUTTER ELEVATION
x W 123.45	EXISTING TOP OF WALL ELEVATION
x BW 123.45	EXISTING BOTTOM OF WALL ELEVATION
HY	HYDRANT
WV	WATER VALVE
GV	GAS VALVE
GM	GAS METER
EM	ELECTRIC METER
OW	OVERHEAD WIRES
U	APPROX. LOC. UNDERGROUND ELECTRIC LINE
S	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
W	APPROX. LOC. UNDERGROUND WATER LINE
UP	UTILITY POLE
UPLP	UTILITY POLE/LIGHT POLE
SL	STREET LIGHT
AL	AREA LIGHT
SWL	SOLID WHITE LINE
CLF	CHAIN LINK FENCE
BLDG	BUILDING
BFA	BUILDING FOOTPRINT AREA
EDC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
RTW	RAILROAD TIE WALL
(TYP)	TYPICAL
DMH	DRAINAGE/STORM MANHOLE
EMH	ELECTRIC MANHOLE
SMH	SANITARY/SEWER MANHOLE
UMH	UNKNOWN MANHOLE
CB	CATCH BASIN OR INLET
(D)	TITLE COMMITMENT EXCEPTION
GRT	GRATE ELEVATION
CI	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
UD	UNABLE TO OPEN
INV	INVERT ELEVATION



- NOTES:**
- PROPERTY KNOWN AS LOTS 1 & 5, AND LOTS 1, 4B, 14, 15 & 19 AS SHOWN ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS; MAP NOS. 3 & 6, RESPECTIVELY.
 - AREA:
 - MAP 3, LOT 1 = 21,310 SQUARE FEET OR 0.489 ACRES
 - MAP 3, LOT 5 = 50,906 SQUARE FEET OR 1.169 ACRES
 - MAP 6, LOT 1 = 13,188 SQUARE FEET OR 0.303 ACRES
 - MAP 6, LOT 4B = 12,484 SQUARE FEET OR 0.287 ACRES
 - MAP 6, LOT 14 = 20,602 SQUARE FEET OR 0.473 ACRES
 - MAP 6, LOT 15 = 8,800 SQUARE FEET OR 0.200 ACRES
 - MAP 6, LOT 19 = 42,280 SQUARE FEET OR 0.971 ACRES
 - TOTAL = 168,778 SQUARE FEET OR 3.875 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT WERE VISIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, HAVING A FILE NO. NCS-1042078-B051, WITH AN EFFECTIVE DATE OF DECEMBER 30, 2020, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - SECTION 2:
 - GENERAL EXCEPTIONS 1 THROUGH 5 & 13 THROUGH 15 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.
 - TITLE TO AND RIGHTS OF THE PUBLIC AND OTHERS ENTITLED THERETO IN AND TO THOSE PORTIONS OF THE LAND LYING WITHIN THE BOUNDS OF ADJACENT STREETS, ROADS, AND WAYS - ALL PUBLIC WAYS SHOWN HEREON.
 - THE ACREAGE OR SQUARE FOOTAGE BEING OTHER THAN AS STATED IN SCHEDULE A OR THE PLAN(S) THEREIN REFERRED TO - SEE NOTE #2.
 - EASEMENT FOR UTILITY PURPOSES IN FAVOR OF MASSACHUSETTS ELECTRIC COMPANY AND VERIZON NEW ENGLAND, INC. DATED SEPTEMBER 30, 2009 AND RECORDED IN BOOK 45986, PAGE 298 - OVERHEAD WIRES SHOWN.
 - RESERVATION BY THE CITY OF WORCESTER OF ANY EASEMENTS ACQUIRED FOR SEWER AND WATER PURPOSES ABOVE GROUND STRUCTURES AS NOTED IN A DEED FROM THE CITY OF WORCESTER RECORDED IN BOOK 6499, PAGE 39 - LAGRANGE STREET SHOWN HEREON.
 - EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION ACTIVE LINES AGAINST SPRINT COMMUNICATIONS, DATED APRIL 16, 2015 AND RECORDED IN BOOK 54110, PAGE 216 - MAP 6, LOT 14 SHOWN HEREON.
 - ORDER AGAINST SPRINT COMMUNICATIONS DATED MAY 6, 2015 AND RECORDED IN BOOK 54578, PAGE 106 - MAP 6, LOT 14 SHOWN HEREON.
 - EASEMENT BETWEEN SEM-TEC, INC. AND JOSEPH D. KROCOSZKA DATED JULY 9, 1987 AND RECORDED IN BOOK 10020, PAGE 162 - EASEMENT SHOWN HEREON.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETK) TAKEN AT THE TIME OF THE FIELD SURVEY.
 - TEMPORARY BENCH MARKS SET:
 - TBM-A: MAG NAIL SET IN ASPHALT SIDEWALK ON NORTHERLY SIDE OF JACKSON STREET. ELEVATION = 471.08'
 - TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT ROADWAY ON NORTHERLY SIDE OF OREAD STREET AT THE INTERSECTION WITH THE SOUTHERLY SIDE OF BEACON STREET. ELEVATION = 526.54'
 - PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - THERE WERE NO PARKING STRIPES OBSERVED ON LOCUS PROPERTIES AT THE TIME OF SURVEY.
 - SURVEYOR'S DESCRIPTION PREPARED PER CLIENT REQUEST.
 - THE CURRENT ZONING CLASSIFICATION, ITEM 6(a), WAS NOT PROVIDED BY THE INSURER AS REQUIRED BY THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS.



SEE SHEET 2 OF 2 FOR TITLE REPORT INFORMATION

THIS SURVEY IS CERTIFIED TO:
 WORCESTER LAGRANGE MM, LLC
 FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(b), 7(a), 7(b), 11, 8, 9, 11, 13 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON FEBRUARY 12, 2020.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

No.	DESCRIPTION OF REVISION	FIELD CREW	APPROVED	DATE	
3	BORING LOCATIONS ADDED	S.G.	E.LOC	G.L.H.	11-22-2021
2	REVISED PER CLIENT COMMENTS		R.J.K.	G.L.H.	7-23-2021
1	FINISHED FLOOR ELEVATIONS ADDED	J.D.O.	R.J.K.	G.L.H.	4-28-2021

FIELD DATE	ALTA/NSPS LAND TITLE SURVEY
11-11-2020	WORCESTER LAGRANGE MM LLC
FIELD BOOK NO.	30 LAGRANGE STREET, MAP 6, LOT 4B
	35 LAGRANGE STREET, MAP 3, LOT 19
20-12	42 LAGRANGE STREET, MAP 6, LOT 19
	44 LAGRANGE STREET, MAP 6, LOT 1
FIELD BOOK PGS	47 LAGRANGE STREET, MAP 3, LOT 5
149-155	50 LAGRANGE STREET, MAP 6, LOT 14
	47 OREAD STREET, MAP 6, LOT 15
	CITY OF WORCESTER, WORCESTER COUNTY
	COMMONWEALTH OF MASSACHUSETTS

FIELD CREW	CONTROL POINT ASSOCIATES, INC.	ALBANY, NY 518-217-5010
J.D.O.	CHALFONT, PA 215-712-9800	
R.J.K.	HAUPPAUGE, NY 631-580-2845	
	MANHATTAN, NY 646-780-0411	
	MT LAUREL, NJ 908-557-2999	
	WARREN, NJ 908-668-0999	
DATE	11-22-21	
APPROVED:	G.L.H.	DATE: 2-16-2021
FILE NO.	03-200183	SCALE: 1"=30'
DWG. NO.	1 OF 2	

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. ORIGINAL PRODUCT OR SERVICE PROVIDED BY CONTROL POINT ASSOCIATES, INC. IS THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.

THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

PARCEL 1:
 BEGINNING ON THE NORTHEASTERLY SIDE OF OREAD STREET AT THE CENTER OF A HOLE IN A STONE MONUMENT AT A CORNER OF LAND NOW OR FORMERLY OF JOSEPH A. SAWYER, ET AL.;
 THENCE NORTHEASTERLY BY LAND NOW OR FORMERLY OF SAID SAWYER, ONE HUNDRED (100) FEET TO THE CENTER OF A HOLE IN A STONE MONUMENT AT LAND NOW OR FORMERLY OF L.D. THAYER MANUFACTURING COMPANY;
 THENCE SOUTHERLY BY LAND NOW OR FORMERLY OF SAID COMPANY, AND LAND NOW OR FORMERLY OF JAMES A. CALVIN EIGHTY (80) FEET TO A STAKE;
 THENCE SOUTHWESTERLY BY A LINE PARALLEL TO AND EIGHTY (80) FEET DISTANT FROM THE FIRST-DESCRIBED LINE ONE HUNDRED (100) FEET TO THE NORTHEASTERLY LINE OF SAID OREAD STREET;
 THENCE NORTHWESTERLY BY SAID OREAD STREET, EIGHTY (80) FEET TO THE POINT OF BEGINNING.

PARCEL 2:
 BEGINNING AT A DRILL HOLE AT THE NORTHEASTERLY CORNER OF THE PARCEL HEREIN DESCRIBED ON THE SOUTHWESTERLY LINE OF LAGRANGE STREET, SAID POINT BEING ONE HUNDRED SEVENTEEN AND ONE HUNDREDTHS (117.01) FEET SOUTHEASTERLY (MEASURED ON THE SOUTHWESTERLY SIDE OF SAID LAGRANGE STREET) OF THE INTERSECTION OF THE SOUTHWESTERLY LINE OF SAID LAGRANGE STREET AND THE SOUTHEASTERLY LINE OF BEACON STREET;
 THENCE RUNNING SOUTH 31° 56' EAST BY THE SOUTHWESTERLY LINE OF LAGRANGE STREET ONE HUNDRED FOURTEEN AND SEVEN HUNDREDTHS (114.07) FEET TO A POINT;
 THENCE RUNNING SOUTH 57° 19' WEST BY LAND NOW OR FORMERLY OF WORCESTER ELECTRIC & MANUFACTURING COMPANY 126.30 FEET TO A POINT;
 THENCE RUNNING NORTH 33° 47' WEST EIGHTY ONE AND EIGHTY NINE HUNDREDTHS (81.89) FEET TO AN IRON PIPE;
 THENCE RUNNING NORTH 54° 42' 20" EAST THIRTY AND SEVENTY NINE HUNDREDTHS (30.79) FEET TO AN IRON PIPE;
 THENCE RUNNING NORTH 31° 31' 50" EAST FORTY SEVEN AND SIXTY HUNDREDTHS (17.60) FEET, MORE OR LESS, TO AN IRON PIPE;
 THENCE RUNNING NORTH 47° 05' 30" EAST FIFTY SIX AND SIXTY SEVEN HUNDREDTHS (56.67) FEET TO THE DRILL HOLE AT THE POINT OF BEGINNING.
 THE LAST FOUR DESCRIBED LINES BEING BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD, SAID PARCEL CONTAINS TWELVE THOUSAND FOUR HUNDRED EIGHTY FOUR (12,484) SQUARE FEET OF LAND AND IS GRANTED TOGETHER WITH THE RIGHT TO PASS AND REPAIR OVER THE FOLLOWING DESCRIBED RIGHT OF WAY ABUTTING THE LAST ABOVE DESCRIBED LINE BEGINNING AT THE NORTHEASTERLY CORNER OF THE RIGHT OF WAY HEREIN DESCRIBED IN THE SOUTHWESTERLY LINE OF LAGRANGE STREET IN THE SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY OF THE CITY OF WORCESTER, SAID POINT OF BEGINNING BEING ONE HUNDRED (100) FEET SOUTHEASTERLY (OF MEASURED ON THE SOUTHWESTERLY LINE OF LAGRANGE STREET) THE INTERSECTION OF THE SOUTHWESTERLY LINE OF LAGRANGE STREET AND THE SOUTHEASTERLY LINE OF BEACON STREET;
 STREET AND THE SOUTHEASTERLY LINE OF BEACON STREET;
 THENCE RUNNING SOUTH 31° 56' EAST BY THE SOUTHWESTERLY LINE OF LAGRANGE STREET SEVENTEEN AND ONE HUNDREDTHS (17.01) FEET TO A DRILL HOLE;
 THENCE RUNNING SOUTH 47° 05' 30" WEST BY THE PARCEL ABOVE DESCRIBED FIFTY SIX AND SIXTY SEVEN HUNDREDTHS (56.67) FEET TO AN IRON PIPE;
 THENCE RUNNING NORTH 34° 13' WEST BY LAND OF THE GRANTOR, TWENTY FIVE AND THIRTY SIX ONE HUNDREDTHS FEET TO A POINT;
 THENCE RUNNING NORTH 55° 47' EAST BY LAND OF THE CITY OF WORCESTER FIFTY SEVEN AND TWENTY EIGHT ONE HUNDREDTHS (57.28) FEET TO THE POINT OF BEGINNING.

PARCEL 3:
 TRACT I:
 A CERTAIN PARCEL OF LAND SITUATED ON THE NORTHEASTERLY SIDE OF LAGRANGE STREET, BOUNDED AND DESCRIBED AS FOLLOWS:
 SOUTHWESTERLY BY SAID LAGRANGE STREET, SIXTY (60) FEET;
 SOUTHEASTERLY BY LAND NOW OR FORMERLY OF SARAH E. ALLEN AND LAND NOW OR FORMERLY OF WILLIAMS J. WOODS, ONE HUNDRED SEVENTY EIGHT AND SIXTY FIVE HUNDREDTHS (178.65) FEET;
 NORTHEASTERLY BY LAND NOW OR FORMERLY OF JAMES A. COLVIN ESTATE, FIFTY SIX (56) FEET;
 NORTHWESTERLY BY LAND NOW OR FORMERLY OF THE CLEVELAND MACHINE COMPANY, LAND NOW OR FORMERLY OF CUTLER AND LAND NOW OR FORMERLY OF THE SAID COLVIN ESTATE, ONE HUNDRED SIXTY EIGHT AND THIRTY FIVE HUNDREDTHS (148.35) FEET;
 CONTAINING ABOUT 9,849 SQUARE FEET OF LAND, MORE OR LESS.

PARCEL 4:
 TRACT I:
 A CERTAIN PARCEL OF LAND SITUATED ON THE NORTHEASTERLY SIDE OF LAGRANGE STREET, BOUNDED AND DESCRIBED AS FOLLOWS:
 SOUTHWESTERLY BY SAID LAGRANGE STREET, SIXTY (60) FEET;
 SOUTHEASTERLY BY LAND NOW OR FORMERLY OF SARAH E. ALLEN AND LAND NOW OR FORMERLY OF WILLIAMS J. WOODS, ONE HUNDRED SEVENTY EIGHT AND SIXTY FIVE HUNDREDTHS (178.65) FEET;
 NORTHEASTERLY BY LAND NOW OR FORMERLY OF JAMES A. COLVIN ESTATE, FIFTY SIX (56) FEET;
 NORTHWESTERLY BY LAND NOW OR FORMERLY OF THE CLEVELAND MACHINE COMPANY, LAND NOW OR FORMERLY OF CUTLER AND LAND NOW OR FORMERLY OF THE SAID COLVIN ESTATE, ONE HUNDRED SIXTY EIGHT AND THIRTY FIVE HUNDREDTHS (148.35) FEET;
 CONTAINING ABOUT 9,849 SQUARE FEET OF LAND, MORE OR LESS.

TRACT II:
 A CERTAIN PARCEL OF LAND SITUATED ON THE NORTHEASTERLY SIDE OF LAGRANGE STREET, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHERLY CORNER THEREOF ON SAID LAGRANGE STREET AT A STONE MONUMENT SET IN THE GROUND AT A CORNER OF LAND FORMERLY OF GEORGE H. BUSNELL AND ANOTHER;
 THENCE NORTH 37 3/4 DEGREES EAST BY LAND FORMERLY OF SAID BUSNELL AND ANOTHER, ONE HUNDRED EIGHTEEN AND EIGHT TENTHS (118.8) FEET MORE OR LESS, TO A STONE MONUMENT SET IN THE GROUND AT LAND NOW OR FORMERLY OF RICHARDSON, MERRIAM & CO.1 THENCE NORTH 36 DEGREES WEST BY LAND NOW OR FORMERLY OF SAID RICHARDSON, MERRIAM & CO., FORTY SIX AND FIVE TENTHS (46.5) FEET, MORE OR LESS, TO ANOTHER STONE MONUMENT SET IN THE GROUND;
 THENCE SOUTH 54 DEGREES WEST BY LAND NOW OR FORMERLY OF THE ESTATE OF ETHAN ALLEN, ONE HUNDRED EIGHT AND FOUR TENTHS (108.4), MORE OR LESS, TO A STONE MONUMENT AT SAID LAGRANGE STREET;
 THENCE SOUTH 32 DEGREES EAST BY SAID LAGRANGE STREET;
 EXCEPTING AND RESERVING, HOWEVER, FROM THE ABOVE CONVEYANCE A SMALL AREA IF ANY CONVEYED BY GEORGIANNA CUTLER AND IOA M. CUTLER TO WILLIAM M. STEELE BY DEED DATED OCTOBER 15, 1971, RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 3142, PAGE 298, AND SUBJECT ALSO TO THE RIGHT STATED IN SAID DEED.

TRACT III:
 BEGINNING AT A POINT ON THE SOUTHEASTERLY SIDE OF BEACON STREET WHICH IS TWO HUNDRED THIRTY SEVEN (237) FEET AND SIX (6) INCHES WESTERLY FROM THE WESTERLY LINE OF JACKSON STREET, WHICH POINT IS AT LAND OF THE ETHAN ALLEN ESTATE, FORMERLY SO CALLED;
 THENCE SOUTHEASTERLY AT RIGHT ANGLES WITH BEACON STREET, ONE HUNDRED FORTY SIX AND ONE HALF (146 1/2) FEET TO LAND FORMERLY CONVEYED BY ETHAN ALLEN TO ONE JOHNSON AND ANOTHER;
 THENCE NORTHEASTERLY BY LAND LAST MENTIONED, THIRTY ONE (31) FEET AND TWO (2) INCHES TO THE NORTHERLY CORNER OF SAID LAST MENTIONED LAND;
 THENCE SOUTHEASTERLY BY LAND LAST MENTIONED, SIXTY (60) FEET TO THE SOUTHEASTERLY CORNER OF LAND LAST MENTIONED;
 THENCE NORTH 370 5/8° EAST BY LAND LATE OF ETHAN ALLEN, SIXTY (60) FEET AND FOUR (4) INCHES TO A CORNER OF LAND LATE OF CHARLES WOOD;
 THENCE NORTHERLY BY LAND LAST MENTIONED AND BY LAND OF RICHARDSON AND MERRIAM, ABOUT ONE HUNDRED TWENTY (120) FEET TO A POINT WHERE THIS LINE WILL STRIKE THE EASTERLY LINE OF LAND DESCRIBED IN A MORTGAGE TO THE PEOPLE'S SAVINGS BANK, IN WORCESTER, MADE BY SAID RICHARDSON AND OTHERS IN THE YEAR 1872, AND RECORDED IN SAID REGISTRY, BOOK 881, PAGE 345;
 THENCE PARALLEL WITH THE FIRST COURSE ABOUT SIXTY FIVE (65) FEET TO BEACON STREET;
 THENCE SOUTH 54° WEST ON SAID BEACON STREET, FIFTY (50) FEET TO THE PLACE OF BEGINNING;
 EXCEPTING FROM THE ABOVE A SMALL PARCEL FOR THE LAND CONVEYED TO WILLIAM R. O'NEIL BY DEED DATED JANUARY 10, 1941, RECORDED IN SAID REGISTRY, BOOK 2402, PAGE 103, AND ANOTHER TRACT OF LAND CONVEYED BY JAMES A. COLVIN TO THE DIAMOND TACK AND NAIL WORKS BY DEED DATED OCTOBER 8, 1917, RECORDED IN SAID REGISTRY, BOOK 2144, PAGE 251.
 EXCEPTING FROM THE ABOVE A PARCEL OF LAND CONVEYED TO THE HERBERT F. ROTHSCHILD TRUST, FILED WITH WORCESTER REGISTRY OF DEEDS AT BOOK 16041, PAGE 256.

PARCEL 4: TRACT I:
 ABOUT 6,500 SQUARE FEET OF LAND SITUATED ON THE REAR SIDE OF BEACON STREET ADJOINING THE ESTATE NOW OR FORMERLY OF WILLIAM M. STEELE, BEING DESIGNATED ON ASSESSOR'S PLAN AS LOT NO. 24, PAGE NO. 28, AND BOOK NO. 6 AND NOW OR FORMERLY BY FRANK J. MCGEE.
 BEING THE SAME PREMISES SET FORTH IN A DECREE OF THE LAND COURT CASE NO. 7666 AND SAID DECREE BEING DATED FEBRUARY 19, 1937, FORECLOSING THE TAX LIEN OF THE CITY OF WORCESTER AND FOREVER FORECLOSING AND BARRING ALL RIGHTS OF REDEMPTION UNDER SAID DECREE ON THE PROPERTY DESCRIBED IN A DEED OF THE COLLECTOR OF TAXES, DATED SEPTEMBER 26, 1933, AND RECORDED IN BOOK 2592, PAGE 546.
 FOR A MORE PARTICULAR DESCRIPTION OF SAID PREMISES, REFERENCE IS MADE TO A DEED FROM MARGARET MCGEE TO FRANK J. MCGEE DATED AUGUST 28, 1930, AND RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 2527, PAGE 176, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT A STONE MONUMENT AT THE SOUTHWESTERLY CORNER OF THE PROPERTY NOW OR FORMERLY OWNED BY THE L.D. THAYER MFG., CO. ON BEACON STREET;
 THENCE: RUNNING SOUTH 26°33' EAST, ONE HUNDRED TWENTY SEVEN AND 5/10(127.5) FEET ALONG THE PROPERTY NOW OR FORMERLY OWNED BY TABER AND BATTERY TO THE PROPERTY NOW OR FORMERLY OWNED BY ONE TRASK;
 THENCE: NORTH 62° 35' EAST, THIRTY THREE AND 5/10 (33.5) FEET ALONG THE LINE OF PROPERTY NOW OR FORMERLY OWNED BY SAID TRASK;
 THENCE: NORTH 58° 50' EAST, SIXTEEN AND 6/4 (16.64) FEET TO A MONUMENT SET IN THE GROUND; THENCE: NORTH 26° 26' WEST, SIX (6) FEET;
 THENCE: NORTH 26° 27' WEST, ONE HUNDRED TWENTY FIVE AND 95/100 (125.95) FEET TO A POINT AT THE SOUTHERN CORNER OF THE PROPERTY NOW OR FORMERLY OWNED BY ONE HICKLEY;
 THENCE: SOUTH 56° 11' WEST, FIFTY (50) FEET, MORE OR LESS, BY LAND NOW OR FORMERLY OF L.D. THAYER MFG., CO. TO THE MONUMENT AT THE POINT OF BEGINNING.

TRACT II:
 THE LAND IN SAID WORCESTER ON THE EASTERLY AIDE OF OREAD STREET, AND BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE EASTERLY LINE OF SAID OREAD STREET, FIFTY (50) FEET NORTHERLY FROM THE CENTER OF A DRILL HOLE IN A STONE MONUMENT SET STANDING IN THE GROUND AT THE INTERSECTION OF LAND OF T.B. MURPHY AND LOUISA TRASK;
 THENCE: NORTHERLY BY THE EASTERLY LINE OF SAID OREAD STREET SEVENTY (70) FEET TO LAND NOW OR LATE OF ONE FITZGERALD;
 THENCE: EASTERLY BY LAND OF SAID FITZGERALD ONE HUNDRED (100) FEET TO LAND NOW OR LATE OF ONE COLVIN; THENCE:
 SOUTHERLY BY LAND OF SAID CALVIN SEVENTY (70) FEET TO LAND OF SAID TRASK;
 THENCE: WESTERLY BY LAND OF SAID TRASK ONE HUNDRED (100) FEET TO THE POINT OF BEGINNING, CONTAINING AN AREA OF 7,000 SQUARE FEET.

TRACT III:
 A CERTAIN TRACT OR PARCEL OF LAND WITH ALL THE PRIVILEGES AND APPURTENANCES THERETO BELONGING SITUATED ON THE NORTHEASTERLY SIDE OF OREAD STREET IN SAID WORCESTER, BOUNDED AND DESCRIBED AS FOLLOWS, TO WIT:
 BEGINNING: AT THE NORTHWESTERLY CORNER THEREOF;
 THENCE: SOUTHEASTERLY BY SAID OREAD STREET FIFTY (50) FEET TO LAND NOW OR FORMERLY OF EDWIN J. NIGHTINGALE;
 THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF SAID NIGHTINGALE ONE HUNDRED FIFTY (150) FEET MORE OR LESS TO A WALL OR FENCE;
 THENCE: NORTHWESTERLY BY SAID WALL OR FENCE FIFTY (50) FEET TO LAND NOW OR FORMERLY OF CALEB WALLS; THENCE:
 SOUTHWESTERLY BY LAND NOW OR FORMERLY OF SAID WALLS ONE HUNDRED FIFTY (150) FEET MORE OR LESS TO THE PLACE OF BEGINNING

TRACT IV:
 THE LAND AT 42 LAGRANGE STREET, WORCESTER, WORCESTER COUNTY, MASSACHUSETTS, WITH THE BUILDING THEREON AND ALL THE PRIVILEGES AND APPURTENANCES THERETO BELONGING, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING: AT THE SOUTH-EASTERLY CORNER THEREOF AT A STONE BOUND SET IN THE GROUND IN THE WESTERLY LINE OF LAGRANGE STREET AT THE LAND NOW OR FORMERLY OF ONE C.W. WALLS;
 THENCE: SOUTH 58°45' WEST, BY LAND NOW OR FORMERLY OF SAID WALLS ONE HUNDRED EIGHTY EIGHT AND SIXTY FIVE HUNDREDTHS (188.65) FEET TO AN IRON PIPE SET IN THE GROUND AT THE LAND NOW OR FORMERLY OF LOUISA TRASK;
 THENCE: NORTH 28° 45' WEST, SIXTY ONE AND THREE TENTHS (61.3) FEET, MORE OR LESS, BY LAND OF SAID TRASK AND LAND NOW OR FORMERLY OF ONE COLVIN TO A CORNER;
 THENCE: TURNING AND RUNNING NORTHEASTERLY BY LAND NOW OR FORMERLY OF SAID COLVIN ONE HUNDRED EIGHTY THREE (183) FEET TO SAID WESTERLY LINE OF LAGRANGE STREET; SAID POINT BEING SOUTHEASTERLY 232 FEET, MORE OR LESS, FROM THE INTERSECTION OF THE SOUTHERLY LINE OF BEACON STREET AND THE WESTERLY LINE
 OF LAGRANGE STREET;
 THENCE: SOUTH 34° 15' EAST, SAID WESTERLY LINE OF LAGRANGE STREET SEVENTY AND SEVENTY TENTHS (70.7) FEET TO THE POINT OF BEGINNING.

TRACT V:
 THE LAND SITUATED ON LAGRANGE STREET, WORCESTER COUNTY, MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING: AT A POINT LOCATED AT THE MOST NORTHERLY CORNER OF LOT 4A, SITUATED TO THE REAR OF BEACON STREET, SAID POINT BEING LOCATED ON THE SOUTHWESTERLY SIDE OF LAGRANGE STREET AND BEING ABOUT NINETY NINE AND SIXTY FIVE HUNDREDTHS (99.65) FEET SOUTHWESTERLY FROM THE INTERSECTION OF THE SOUTHWESTERLY LINE OF BEACON STREET WITH THE SOUTHWESTERLY LINE OF LAGRANGE STREET;
 THENCE: SOUTHWESTERLY BY LAND NOW OR FORMERLY OF LAWRENCE SHER AND IRVING L. SHER AND BY LAND OF SECURITY STORAGE OF WORCESTER, ABOUT ONE HUNDRED AND SEVENTY AND EIGHTY FIVE HUNDREDTHS (170.85) FEET TO A POINT;
 THENCE: SOUTHEASTERLY BY LAND NOW OR FORMERLY OF SECURITY STORAGE OF WORCESTER, ABOUT ONE HUNDRED AND TWENTY FIVE (125) FEET TO A POINT;
 THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF JOSEPH D. KROSCZKA, ABOUT FIFTY SEVEN AND EIGHT TENTHS (57.8) FEET TO A POINT;
 THENCE: NORTHWESTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT EIGHTY ONE AND THIRTY ONE HUNDREDTHS (81.31) FEET TO A POINT;
 THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, THIRTY AND SEVENTY NINE HUNDREDTHS (30.79) FEET TO A POINT;
 THENCE: NORTHERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT FORTY SEVEN AND SIX TENTHS (47.6) FEET TO A POINT;
 THENCE: NORTHWESTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT FIFTY SIX AND SIXTY SEVEN HUNDREDTHS (56.67) FEET TO A POINT;
 THENCE: NORTHWESTERLY BY LAGRANGE STREET, ABOUT SEVENTEEN AND ONE TENTH (17.1) FEET TO THE POINT OF BEGINNING.
 SAID PARCEL CONTAINS ABOUT 9,898 SQUARE FEET OF LAND.

PARCEL 5:
 A CERTAIN PARCEL OF LAND WITH THE BUILDINGS THEREON IN SAID CITY OF WORCESTER ON THE WESTERLY SIDE OF LAGRANGE STREET, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE CENTER OF A DRILL HOLE IN A STONE MONUMENT SET IN THE GROUND IN THE WESTERLY LINE OF LAGRANGE STREET, SO CALLED, AND AT LAND NOW OR LATE OF THE MAT WOOD AND QUINCY MANUFACTURING COMPANY;
 THENCE NORTH 34 1/4° WEST BY THE SAID LINE OF LAGRANGE STREET SEVENTY (70) FEET TO THE CENTER OF A DRILL HOLE IN A STONE MONUMENT SET IN THE GROUND AT LAND NOW OR LATE OF WILLIAM E. ALLEN;
 THENCE TURNING AND RUNNING SOUTH 58 3/4° WEST BY LAND NOW OR LATE OF SAID ALLEN ONE HUNDRED NINETY THREE AND SIXTY FIVE HUNDREDTHS (193.65) FEET MORE OR LESS TO A POINT AT LAND NOW OR LATE OF T. H. MURPHY;
 THENCE TURNING AND RUNNING SOUTH 28 3/4° EAST BY SAID MURPHY LAND SEVENTY (70) FEET TO LAND NOW OR LATE OF SAID HARWOOD AND QUINCY MANUFACTURING COMPANY;
 THENCE TURNING AND RUNNING NORTH 58 3/4° EAST BY LAND NOW OR LATE OF SAID HARWOOD AND QUINCY MANUFACTURING COMPANY ONE HUNDRED NINETY EIGHT AND SEVENTY FIVE ONE HUNDREDTHS (198.75) FEET MORE OR LESS TO THE POINT OF BEGINNING.
 CONTAINING 13,734 SQUARE FEET OF LAND MORE OR LESS.

PARCEL 6:
 BEGINNING AT A HOLE DRILLED IN A STONE MONUMENT, SAID MONUMENT BEING AT A CORNER FORMED BY THE NORTHWESTERLY LINE OF LAND OF THE NORWICH AND WORCESTER RAILROAD COMPANY, NOW OR FORMERLY, AND THE SOUTHERLY LINE OF LAGRANGE STREET;
 THENCE NORTH 34° WEST BY THE SOUTHERLY SIDE OF LAGRANGE STREET NINETY AND (90.05) FEET TO A POINT; THENCE SOUTH 59° 45' WEST BY LAND OF WILLIAM E. ALLEN, NOW OR FORMERLY, ONE HUNDRED NINETY EIGHT AND SEVENTY FIVE HUNDREDTHS (198.75) FEET TO A POINT;
 THENCE SOUTH 28° 45' EAST ABOUT ONE HUNDRED (100) FEET TO A STONE MONUMENT SET IN THE WESTERLY LINE OF LAND OF THE BOSTON AND ALBANY RAILROAD COMPANY, NOW OR FORMERLY;
 THENCE NORTH 59° 45' EAST ONE HUNDRED EIGHTY ONE AND SEVENTY FIVE HUNDREDTHS (181.75) FEET BY SAID WESTERLY LINE TO A STONE MONUMENT;
 THENCE NORTHERLY TWENTY SIX AND FIVE TENTHS (26.5) FEET BY LAND OF NORWICH AND WORCESTER RAILROAD COMPANY, NOW OR FORMERLY TO THE PLACE OF BEGINNING.
 AND FURTHER CONVEYING ALL OF ITS RIGHT, TITLE AND INTEREST AS OBTAINED BY ADVERSE POSSESSION BY ORDER OF THE WORCESTER PROBATE COURT ON NOVEMBER 25, 1968 IN DOCKET NO. E860381, THE FOLLOWING PREMISES:
 BEGINNING AT THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PREMISES AT A POINT ON THE SOUTHWESTERLY LINE OF LAGRANGE STREET AT THE INTERSECTION OF THE EXISTING AND FORMER LINE OF SAID LAGRANGE STREET, SAID POINT BEING DISTANT SOUTH 51° 39' EAST 22.34' FROM A POINT AT AN ANGLE IN THE
 EXISTING LINE OF SAID LAGRANGE STREET;
 THENCE SOUTH 32° 59' 00" EAST BY THE SOUTHWESTERLY LINE OF THE FORMER LOCATION OF LAGRANGE STREET SIXTY TWO AND FORTY SIX HUNDREDTHS (62.46) FEET TO A POINT AT AN ANGLE IN THE FORMER LOCATION OF SAID STREET;
 THENCE NORTH 38° 15'00" EAST BY THE SOUTHEASTERLY LINE OF THE FORMER LOCATION OF LAGRANGE STREET, AND ON THE RANGE OF THE EXISTING SOUTHEASTERLY LINE OF SAID STREET, NINETEEN AND NINETY NINE HUNDREDTHS (19.99) FEET TO A POINT AT THE MOST SOUTHERLY CORNER OF THE EXISTING LOCATION OF SAID STREET;
 THENCE NORTH 51° 39'00" WEST BY THE SOUTHWESTERLY LINE OF THE EXISTING LOCATION OF SAID STREET, FIFTY NINE AND FOURTEEN HUNDREDTHS (59.14) FEET TO THE POINT OF BEGINNING.
 CONTAINING 991.06 SQUARE FEET OF LAND, MORE OR LESS.

PARCEL 7:
 METES AND BOUNDS DESCRIPTION
 MAP 6, LOTS 1, 4B, 14, 15 & 19
 CITY OF WORCESTER
 WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS
 BEGINNING AT A POINT ALONG THE NORTHERLY LINE OF OREAD STREET (PUBLIC - 48' WIDE), SAID POINT BEING SOUTH 38 DEGREES - 10 MINUTES - 49 SECONDS EAST, A DISTANCE OF 80.00 FEET FROM A STONE BOUND WITH DRILL HOLE FOUND AT THE INTERSECTION OF THE NORTHERLY LINE OF OREAD STREET WITH THE SOUTHERLY LINE OF BEACON STREET (PUBLIC - 48' WIDE), THENCE:
 1. DEPARTING SAID NORTHERLY LINE, RUNNING ALONG THE DIVIDING LINE WITH MAP 6, LOT 16 (N/F HABITAT FOR HUMANITY METERWEST/GREATER WORCESTER, INC.) NORTH 51 DEGREES - 49 MINUTES - 11 SECONDS EAST, A DISTANCE OF 100.00 FEET, THENCE;
 2. ALONG THE DIVIDING LINE WITH MAP 6, LOT 17 (N/F MARIA L. FRANCESCHI), SOUTH 38 DEGREES - 10 MINUTES - 49 SECONDS EAST, A DISTANCE OF 22.50 FEET, THENCE;
 3. CONTINUING ALONG THE DIVIDING LINE WITH SAID LOT 17, AND MAP 6, LOTS 5 & 8 (N/F IGLESIA CRISTIANA DE LA COMUNIDAD), NORTH 44 DEGREES - 43 MINUTES - 13 SECONDS EAST, A DISTANCE OF 219.98 FEET TO A POINT ALONG THE SOUTHERLY LINE OF LAGRANGE STREET (PUBLIC - VARIABLE WIDTH), THENCE;
 4. ALONG SAID SOUTHERLY LINE, SOUTH 42 DEGREES - 35 MINUTES - 21 SECONDS EAST, A DISTANCE OF 182.73 FEET, THENCE;
 5. CONTINUING ALONG SAID SOUTHERLY LINE, SOUTH 42 DEGREES - 20 MINUTES - 21 SECONDS EAST, A DISTANCE OF 95.52 FEET, THENCE;
 6. CONTINUING ALONG SAID SOUTHERLY LINE, SOUTH 62 DEGREES - 15 MINUTES - 51 SECONDS EAST, A DISTANCE OF 81.69 FEET, THENCE;
 7. DEPARTING SAID SOUTHERLY LINE, ALONG THE DIVIDING LINE WITH LANDS NOW OR FORMERLY OF CSX TRANSPORTATION, SOUTH 27 DEGREES - 38 MINUTES - 09 SECONDS WEST, A DISTANCE OF 19.99 FEET, THENCE;
 8. SOUTH 28 DEGREES - 32 MINUTES - 03 SECONDS WEST, A DISTANCE OF 26.50 FEET, THENCE;
 9. SOUTH 50 DEGREES - 09 MINUTES - 09 SECONDS WEST, A DISTANCE OF 182.64 FEET, THENCE;
 10. ALONG THE DIVIDING LINE WITH MAP 6, LOT 21 + 23 (N/F JULIO ROMERO) NORTH 38 DEGREES - 20 MINUTES - 51 SECONDS WEST, A DISTANCE OF 99.65 FEET, THENCE;
 11. ALONG THE DIVIDING LINE WITH MAP 6, LOT 13 (N/F MARTHA ROGELIA MONZON) AND MAP 6, LOT 22 (N/F JOSE A. GRAJALES) NORTH 37 DEGREES - 20 MINUTES - 51 SECONDS WEST, A DISTANCE OF 76.52 FEET, THENCE;
 12. CONTINUING ALONG THE DIVIDING LINE WITH MAP 6, LOT 22, SOUTH 49 DEGREES - 57 MINUTES - 07 SECONDS WEST, A DISTANCE OF 148.36 FEET TO A POINT ALONG THE NORTHERLY LINE OF OREAD STREET, THENCE;
 13. ALONG SAID NORTHERLY LINE, NORTH 38 DEGREES - 10 MINUTES - 49 SECONDS WEST, A DISTANCE OF 200.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 96,564 SQUARE FEET OR 2,217 ACRES.

PARCEL 8:
 METES AND BOUNDS DESCRIPTION
 MAP 3, LOTS 1 & 5
 CITY OF WORCESTER
 WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS
 BEGINNING AT A POINT ALONG THE SOUTHERLY LINE OF JACKSON STREET (PUBLIC - VARIABLE WIDTH), SAID POINT BEING NORTH 46 DEGREES - 02 MINUTES - 51 SECONDS WEST, A DISTANCE OF 76.92 FEET FROM THE INTERSECTION OF SAID SOUTHERLY LINE OF JACKSON STREET AND THE NORTHERLY LINE OF LAGRANGE STREET (PUBLIC - VARIABLE WIDTH), THENCE:
 1. ALONG SAID SOUTHERLY LINE, SOUTH 46 DEGREES - 02 MINUTES - 51 SECONDS WEST, A DISTANCE OF 78.92 FEET, THENCE ALONG THE NORTHERLY LINE OF LAGRANGE STREET THE FOLLOWING FOUR (4) COURSES:
 2. SOUTH 27 DEGREES - 38 MINUTES - 10 SECONDS WEST, A DISTANCE OF 159.92 FEET, THENCE;
 3. SOUTH 27 DEGREES - 38 MINUTES - 09 SECONDS WEST, A DISTANCE OF 212.30 FEET, THENCE;
 4. NORTH 62 DEGREES - 15 MINUTES - 51 SECONDS WEST, A DISTANCE OF 40.27 FEET, THENCE;
 5. NORTH 41 DEGREES - 43 MINUTES - 51 SECONDS WEST, A DISTANCE OF 276.00 FEET, THENCE;
 6. DEPARTING SAID NORTHERLY LINE, RUNNING ALONG THE DIVIDING LINE WITH MAP 3, LOT 1A (N/F 98 BEACON, LLC), NORTH 44 DEGREES - 10 MINUTES - 18 SECONDS EAST, A DISTANCE OF 112.64 FEET, THENCE;
 7. CONTINUING ALONG SAID DIVIDING LINE, NORTH 29 DEGREES - 03 MINUTES - 04 SECONDS EAST, A DISTANCE OF 53.18 FEET, THENCE RUNNING ALONG THE DIVIDING LINE WITH MAP 3, LOT 2 (N/F BRADY SULLIVAN WORCESTER PROPERTIES, LLC), THE FOLLOWING THREE (3) COURSES:
 8. SOUTH 83 DEGREES - 50 MINUTES - 55 SECONDS EAST, A DISTANCE OF 99.57 FEET, THENCE;
 9. SOUTH 62 DEGREES - 52 MINUTES - 51 SECONDS EAST, A DISTANCE OF 69.17 FEET, THENCE;
 10. NORTH 37 DEGREES - 22 MINUTES - 09 SECONDS EAST, A DISTANCE OF 134.08 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 72,215 SQUARE FEET OR 1,658 ACRES.

TRACT V:
 THE LAND SITUATED ON LAGRANGE STREET, WORCESTER COUNTY, MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING: AT A POINT LOCATED AT THE MOST NORTHERLY CORNER OF LOT 4A, SITUATED TO THE REAR OF BEACON STREET, SAID POINT BEING LOCATED ON THE SOUTHWESTERLY SIDE OF LAGRANGE STREET AND BEING ABOUT NINETY NINE AND SIXTY FIVE HUNDREDTHS (99.65) FEET SOUTHWESTERLY FROM THE INTERSECTION OF THE SOUTHWESTERLY LINE OF BEACON STREET WITH THE SOUTHWESTERLY LINE OF LAGRANGE STREET;
 THENCE: SOUTHWESTERLY BY LAND NOW OR FORMERLY OF LAWRENCE SHER AND IRVING L. SHER AND BY LAND OF SECURITY STORAGE OF WORCESTER, ABOUT ONE HUNDRED AND SEVENTY AND EIGHTY FIVE HUNDREDTHS (170.85) FEET TO A POINT;
 THENCE: SOUTHEASTERLY BY LAND NOW OR FORMERLY OF SECURITY STORAGE OF WORCESTER, ABOUT ONE HUNDRED AND TWENTY FIVE (125) FEET TO A POINT;
 THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF JOSEPH D. KROSCZKA, ABOUT FIFTY SEVEN AND EIGHT TENTHS (57.8) FEET TO A POINT;
 THENCE: NORTHWESTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT EIGHTY ONE AND THIRTY ONE HUNDREDTHS (81.31) FEET TO A POINT;
 THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, THIRTY AND SEVENTY NINE HUNDREDTHS (30.79) FEET TO A POINT;
 THENCE: NORTHERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT FORTY SEVEN AND SIX TENTHS (47.6) FEET TO A POINT;
 THENCE: NORTHWESTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT FIFTY SIX AND SIXTY SEVEN HUNDREDTHS (56.67) FEET TO A POINT;
 THENCE: NORTHWESTERLY BY LAGRANGE STREET, ABOUT SEVENTEEN AND ONE TENTH (17.1) FEET TO THE POINT OF BEGINNING.
 SAID PARCEL CONTAINS ABOUT 9,898 SQUARE FEET OF LAND.

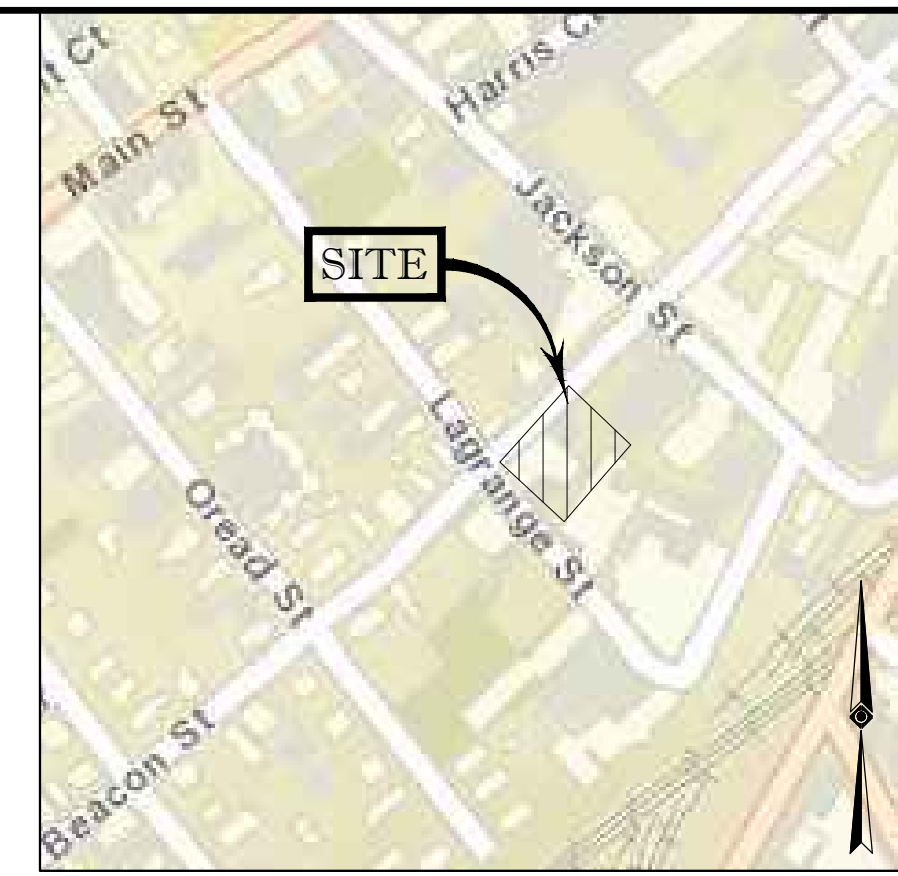
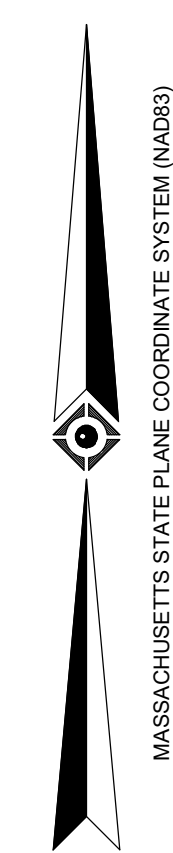
PARCEL 5:
 A CERTAIN PARCEL OF LAND WITH THE BUILDINGS THEREON IN SAID CITY OF WORCESTER ON THE WESTERLY SIDE OF LAGRANGE STREET, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE CENTER OF A DRILL HOLE IN A STONE MONUMENT SET IN THE GROUND IN THE WESTERLY LINE OF LAGRANGE STREET, SO CALLED, AND AT LAND NOW OR LATE OF THE MAT WOOD AND QUINCY MANUFACTURING COMPANY;
 THENCE NORTH 34 1/4° WEST BY THE SAID LINE OF LAGRANGE STREET SEVENTY (70) FEET TO THE CENTER OF A DRILL HOLE IN A STONE MONUMENT SET IN THE GROUND AT LAND NOW OR LATE OF WILLIAM E. ALLEN;
 THENCE TURNING AND RUNNING SOUTH 58 3/4° WEST BY LAND NOW OR LATE OF SAID ALLEN ONE HUNDRED NINETY THREE AND SIXTY FIVE HUNDREDTHS (193.65) FEET MORE OR LESS TO A POINT AT LAND NOW OR LATE OF T. H. MURPHY;
 THENCE TURNING AND RUNNING SOUTH 28 3/4° EAST BY SAID MURPHY LAND SEVENTY (70) FEET TO LAND NOW OR LATE OF SAID HARWOOD AND QUINCY MANUFACTURING COMPANY;
 THENCE TURNING AND RUNNING NORTH 58 3/4° EAST BY LAND NOW OR LATE OF SAID HARWOOD AND QUINCY MANUFACTURING COMPANY ONE HUNDRED NINETY EIGHT AND SEVENTY FIVE ONE HUNDREDTHS (198.75) FEET MORE OR LESS TO THE POINT OF BEGINNING.
 CONTAINING 13,734 SQUARE FEET OF LAND MORE OR LESS.

PARCEL 6:
 BEGINNING AT A HOLE DRILLED IN A STONE MONUMENT, SAID MONUMENT BEING AT A CORNER FORMED BY THE NORTHWESTERLY LINE OF LAND OF THE NORWICH AND WORCESTER RAILROAD COMPANY, NOW OR FORMERLY, AND THE SOUTHERLY LINE OF LAGRANGE STREET;
 THENCE NORTH 34° WEST BY THE SOUTHERLY SIDE OF LAGRANGE STREET NINETY AND (90.05) FEET TO A POINT; THENCE SOUTH 59° 45' WEST BY LAND OF WILLIAM E. ALLEN, NOW OR FORMERLY, ONE HUNDRED NINETY EIGHT AND SEVENTY FIVE HUNDREDTHS (198.75) FEET TO A POINT;
 THENCE SOUTH 28° 45' EAST ABOUT ONE HUNDRED (100) FEET TO A STONE MONUMENT SET IN THE WESTERLY LINE OF LAND OF THE BOSTON AND ALBANY RAILROAD COMPANY, NOW OR FORMERLY;
 THENCE NORTH 59° 45' EAST ONE HUNDRED EIGHTY ONE AND SEVENTY FIVE HUNDREDTHS (181.75) FEET BY SAID WESTERLY LINE TO A STONE MONUMENT;
 THENCE NORTHERLY TWENTY SIX AND FIVE TENTHS (26.5) FEET BY LAND OF NORWICH AND WORCESTER RAILROAD COMPANY, NOW OR FORMERLY TO THE PLACE OF BEGINNING.
 AND FURTHER CONVEYING ALL OF ITS RIGHT, TITLE AND INTEREST AS OBTAINED BY ADVERSE POSSESSION BY ORDER OF THE WORCESTER PROBATE COURT ON NOVEMBER 25, 1968 IN DOCKET NO. E860381, THE FOLLOWING PREMISES:
 BEGINNING AT THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PREMISES AT A POINT ON THE SOUTHWESTERLY LINE OF LAGRANGE STREET AT THE INTERSECTION OF THE EXISTING AND FORMER LINE OF SAID LAGRANGE STREET, SAID POINT BEING DISTANT SOUTH 51° 39' EAST 22.34' FROM A POINT AT AN ANGLE IN THE
 EXISTING LINE OF SAID LAGRANGE STREET;
 THENCE SOUTH 32° 59' 00" EAST BY THE SOUTHWESTERLY LINE OF THE FORMER LOCATION OF LAGRANGE STREET SIXTY TWO AND FORTY SIX HUNDREDTHS (62.46) FEET TO A POINT AT AN ANGLE IN THE FORMER LOCATION OF SAID STREET;
 THENCE NORTH 38° 15'00" EAST BY THE SOUTHEASTERLY LINE OF THE FORMER LOCATION OF LAGRANGE STREET, AND ON THE RANGE OF THE EXISTING SOUTHEASTERLY LINE OF SAID STREET, NINETEEN AND NINETY NINE HUNDREDTHS (19.99) FEET TO A POINT AT THE MOST SOUTHERLY CORNER OF THE EXISTING LOCATION OF SAID STREET;
 THENCE NORTH 51° 39'00" WEST BY THE SOUTHWESTERLY LINE OF THE EXISTING LOCATION OF SAID STREET, FIFTY NINE AND FOURTEEN HUNDREDTHS (59.14) FEET TO THE POINT OF BEGINNING.
 CONTAINING 991.06 SQUARE FEET OF LAND, MORE OR LESS.

PARCEL 7:
 METES AND BOUNDS DESCRIPTION
 MAP 6, LOTS 1, 4B, 14, 15 & 19
 CITY OF WORCESTER
 WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS
 BEGINNING AT A POINT ALONG THE NORTHERLY LINE OF OREAD STREET (PUBLIC - 48' WIDE), SAID POINT BEING SOUTH 38 DEGREES - 10 MINUTES - 49 SECONDS EAST, A DISTANCE OF 80.00 FEET FROM A STONE BOUND WITH DRILL HOLE FOUND AT THE INTERSECTION OF THE NORTHERLY LINE OF OREAD STREET WITH THE SOUTHERLY LINE OF BEACON STREET (PUBLIC - 48' WIDE), THENCE:
 1. DEPARTING SAID NORTHERLY LINE, RUNNING ALONG THE DIVIDING LINE WITH MAP 6, LOT 16 (N/F HABITAT FOR HUMANITY METERWEST/GREATER WORCESTER, INC.) NORTH 51 DEGREES - 49 MINUTES - 11 SECONDS EAST, A DISTANCE OF 100.00 FEET, THENCE;
 2. ALONG THE DIVIDING LINE WITH MAP 6, LOT 17 (N/F MARIA L. FRANCESCHI), SOUTH 38 DEGREES - 10 MINUTES - 49 SECONDS EAST, A DISTANCE OF 22.50 FEET, THENCE;
 3. CONTINUING ALONG THE DIVIDING LINE WITH SAID LOT 17, AND MAP 6, LOTS 5 & 8 (N/F IGLESIA CRISTIANA DE LA COMUNIDAD), NORTH 44 DEGREES - 43 MINUTES - 13 SECONDS EAST, A DISTANCE OF 219.98 FEET TO A POINT ALONG THE SOUTHERLY LINE OF LAGRANGE STREET (PUBLIC - VARIABLE WIDTH), THENCE;
 4. ALONG SAID SOUTHERLY LINE, SOUTH 42 DEGREES - 35 MINUTES - 21 SECONDS EAST, A DISTANCE OF 182.73 FEET, THENCE;
 5. CONTINUING ALONG SAID SOUTHERLY LINE, SOUTH 42 DEGREES - 20 MINUTES - 21 SECONDS EAST, A DISTANCE OF 95.52 FEET, THENCE;
 6. CONTINUING ALONG SAID SOUTHERLY LINE, SOUTH 62 DEGREES - 15 MINUTES - 51 SECONDS EAST, A DISTANCE OF 81.69 FEET, THENCE;
 7. DEPARTING SAID SOUTHERLY LINE, ALONG THE DIVIDING LINE WITH LANDS NOW OR FORMERLY OF CSX TRANSPORTATION, SOUTH 27 DEGREES - 38 MINUTES - 09 SECONDS WEST, A DISTANCE OF 19.99 FEET, THENCE;
 8. SOUTH 28 DEGREES - 32 MINUTES - 03 SECONDS WEST, A DISTANCE OF 26.50 FEET, THENCE;
 9. SOUTH 50 DEGREES - 09 MINUTES - 09 SECONDS WEST, A DISTANCE OF 182.64 FEET, THENCE;
 10. ALONG THE DIVIDING LINE WITH MAP 6, LOT 21 + 23 (N/F JULIO ROMERO) NORTH 38 DEGREES - 20 MINUTES - 51 SECONDS WEST, A DISTANCE OF 99.65 FEET, THENCE;
 11. ALONG THE DIVIDING LINE WITH MAP 6, LOT 13 (N/F MARTHA ROGELIA MONZON) AND MAP 6, LOT 22 (N/F JOSE A. GRAJALES) NORTH 37 DEGREES - 20 MINUTES - 51 SECONDS WEST, A DISTANCE OF 76.52 FEET, THENCE;
 12. CONTINUING ALONG THE DIVIDING LINE WITH MAP 6, LOT 22, SOUTH 49 DEGREES - 57 MINUTES - 07 SECONDS WEST, A DISTANCE OF 148.36 FEET TO A POINT ALONG THE NORTHERLY LINE OF OREAD STREET, THENCE;
 13. ALONG SAID NORTHERLY LINE, NORTH 38 DEGREES - 10 MINUTES - 49 SECONDS WEST, A DISTANCE OF 200.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 96,564 SQUARE FEET OR 2,217 ACRES.

PARCEL 8:
 METES AND BOUNDS DESCRIPTION
 MAP 3, LOTS 1 & 5
 CITY OF WORCESTER
 WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS
 BEGINNING AT A POINT ALONG THE SOUTHERLY LINE OF JACKSON STREET (PUBLIC - VARIABLE WIDTH), SAID POINT BEING NORTH 46 DEGRE



LOCUS MAP
NOT TO SCALE

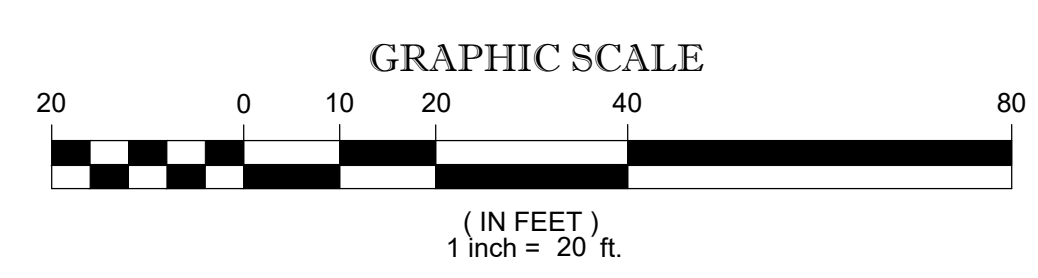
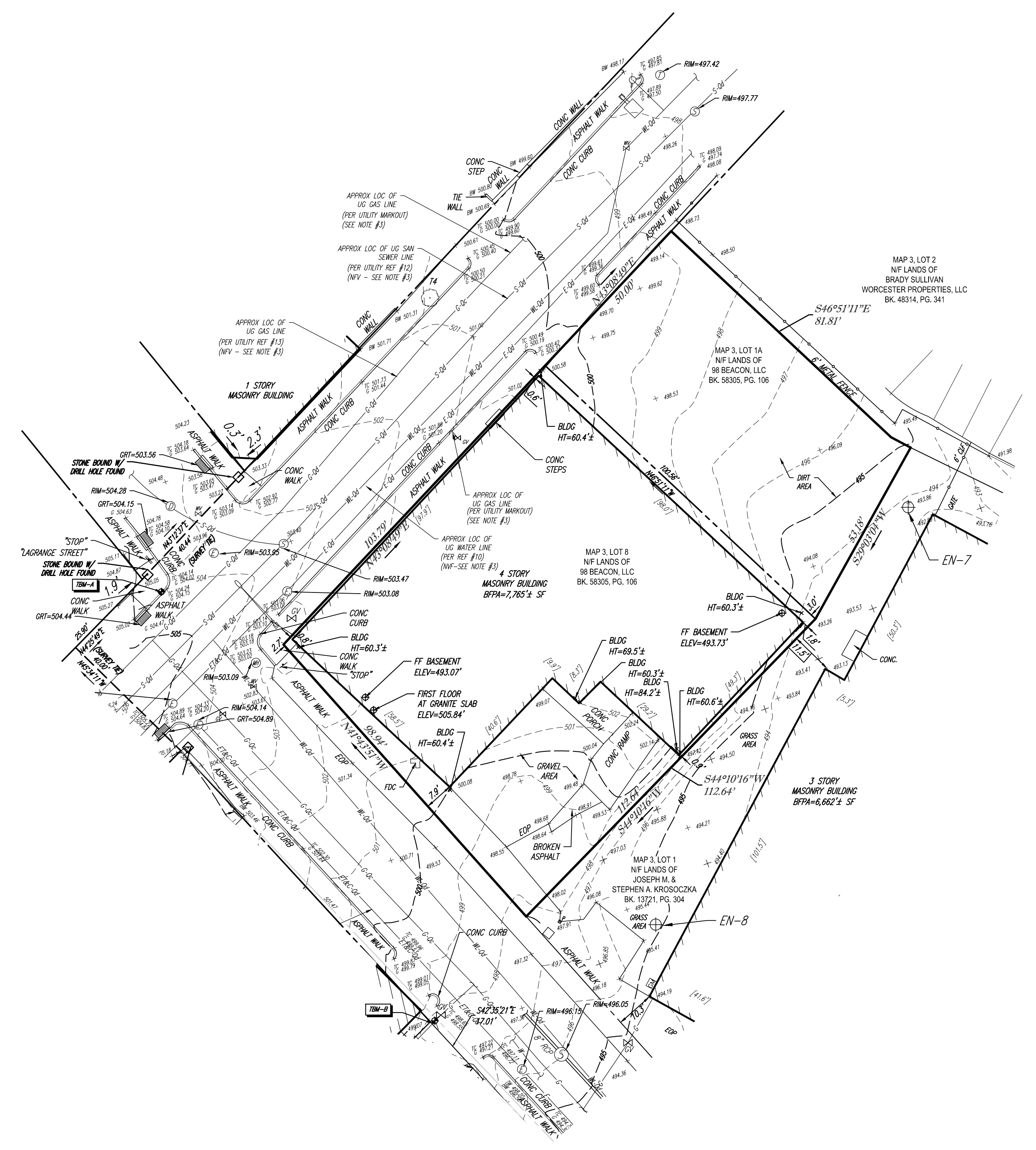
NOTES:

- PROPERTY KNOWN AS LOTS 1A & 8, AS SHOWN ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 3.
 - AREA: MAP 3, LOT 1A = 4,719 SQUARE FEET OR 0.108 ACRES
TOTAL AREA = 15,496 SQUARE FEET OR 0.355 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
 - QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
 - QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
 - QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:
- TBM-A: MAG NAIL SET IN ASPHALT SIDEWALK ON NORTHERLY SIDE OF BEACON STREET. ELEVATION = 504.31'
 - TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT ROADWAY. ELEVATION = 498.72'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

REFERENCES:

- THE TAX ASSESSOR'S MAPS OF WORCESTER, WORCESTER COUNTY, MAPS 3 AND 6.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 628 OF 1075," COMMUNITY-PANEL NUMBER 28927C08, EFFECTIVE DATE: JULY 4, 2011.
- MAP ENTITLED "PLAN OF THE WORCESTER MACHINE SCREW CO'S PROPERTY, WORCESTER MASS, 1920," PREPARED BY HERBERT A. PRATT, CIVIL ENGINEER, DATED: 1920, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 34, PAGE 47.
- MAP ENTITLED "PLAN TO ESTABLISH PROPERTY LINE IN WORCESTER, MASS. BETWEEN AXEL P. SWANSTRON ETUX AND LAWRENCE J. WOODS," PREPARED BY FRANCIS B. THOMPSON, DATED: OCTOBER 14, 1963, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 193, PAGE 67.
- MAP ENTITLED "LAND IN WORCESTER, MA OWNED BY JOSEPH M. & STEPHEN A. KROSOCZKA TO BE CONVEYED TO HERBERT ROTHSCHILD," PREPARED BY WILLIAM B. NIEMITZ, R.P.L.S., DATED: OCTOBER 19, 1993, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 678, PAGE 70.
- MAP ENTITLED "JACKSON STREET - 1853," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED DECEMBER 8, 1928. FILE NO. H-11 6968.
- MAP ENTITLED "BEACON STREET," PREPARED BY THE CITY OF WORCESTER BUREAU OF ENGINEERING, DEPARTMENT OF PUBLIC WORKS. FILE NO. H-9402, 3 OF 3 SHEETS.
- MAP ENTITLED "ORAD STREET - 1870," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED JULY 17, 1928. FILE NO. H-15 6748.
- MAP ENTITLED "LAGRANGE STREET - 1896," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED JANUARY, 1929. FILE NO. H-3 1453.
- UNDERGROUND WATER FACILITY MAPPING PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- UNDERGROUND ELECTRIC FACILITY MAPPING PROVIDED BY NATIONAL GRID.
- UNDERGROUND SEWER FACILITY MAPPING PROVIDED BY THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- UNDERGROUND GAS FACILITY MAPPING PROVIDED BY EVERSOURCE GAS.

LEGEND	
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
X TC 123.45	EXISTING TOP OF CURB ELEVATION
X TW 123.45	EXISTING TOP OF WALL ELEVATION
X BW 122.95	EXISTING BOTTOM OF WALL ELEVATION
○	HYDRANT
○	WATER VALVE
○	GAS VALVE
○	GAS METER
---	APPROX. LOC. UNDERGROUND ELECTRIC LINE
---	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
---	APPROX. LOC. UNDERGROUND WATER LINE
---	APPROX. LOC. UNDERGROUND TELEPHONE LINE
---	STREET LIGHT
---	SIGN
---	UNDER GROUND
BLDG	BUILDING
BFPA	BUILDING FOOTPRINT AREA
EDC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
TMH	TELEPHONE MANHOLE
DMH	DRAINAGE/STORM MANHOLE
EMH	ELECTRIC MANHOLE
SMH	SANITARY/SEWER MANHOLE
MH	UNKNOWN MANHOLE
CB	CATCH BASIN OR INLET
HT	HEIGHT
GRT	GRATE ELEVATION
T	TREE & TRUNK SIZE



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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE	11-08-21	BOUNDARY & TOPOGRAPHIC SURVEY	
FIELD BOOK NO.	21-MA	98 BEACON STREET	
FIELD BOOK PG.	1-2	LOT 1A, MAP 3	
FIELD CREW	S.G.	LOT 8, MAP 3	
DRAWN	M.R.D.	CITY OF WORCESTER, WORCESTER COUNTY	
REVIEWED	G.L.H.	COMMONWEALTH OF MASSACHUSETTS	
APPROVED	G.L.H.	DATE	11-16-21
SCALE	1"=20'	FILE NO.	03-210480-00
DWG. NO.	1	OF	1

6-30-22
DATE

98 BEACON

98 BEACON STREET WORCESTER MA



② VIEW FROM SIDE STREET
12" = 1'-0"



① VIEW FROM BEACON STREET 2.0
12" = 1'-0"

CIVICO

98 BEACON
98 BEACON STREET
WORCESTER MA

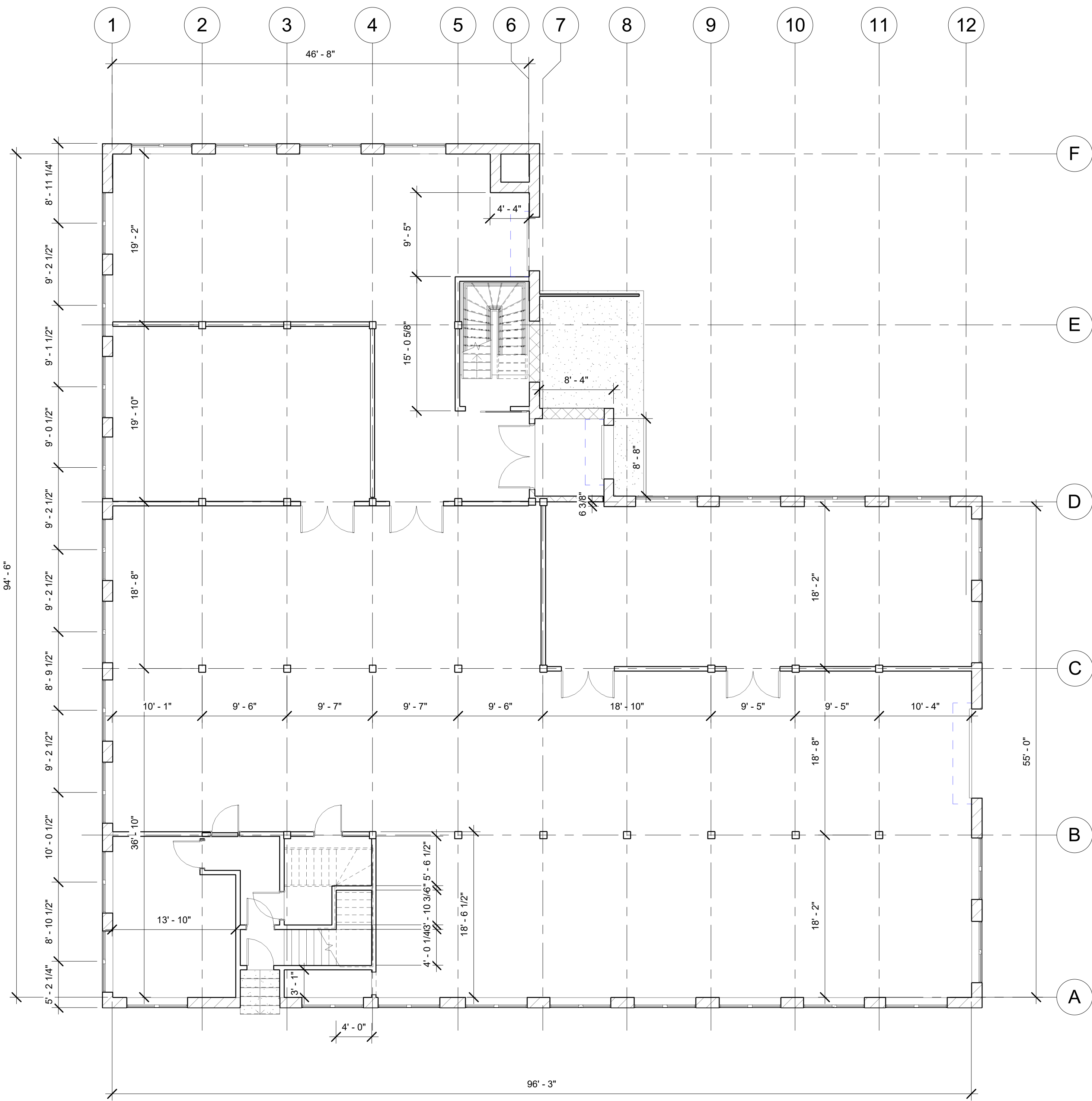
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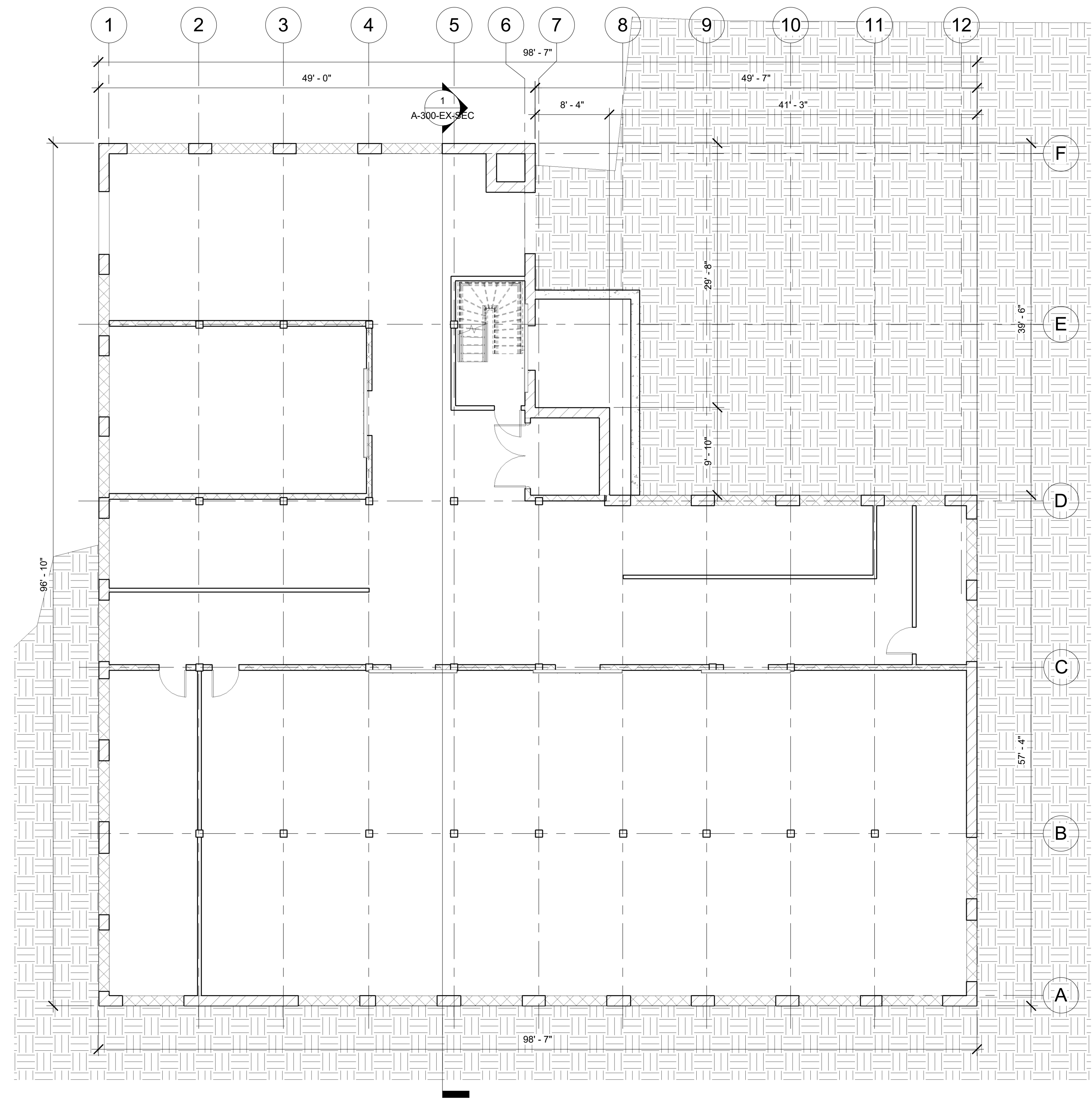
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DRAWN	Author
CHECKED BY	Checker
DATE	1.21.2020
SCALE	12" = 1'-0"

TITLE SHEET

A-000-T



① 1ST FLOOR EXISTING
1/8" = 1'-0"



② GROUND FLOOR EXISTING
1/8" = 1'-0"

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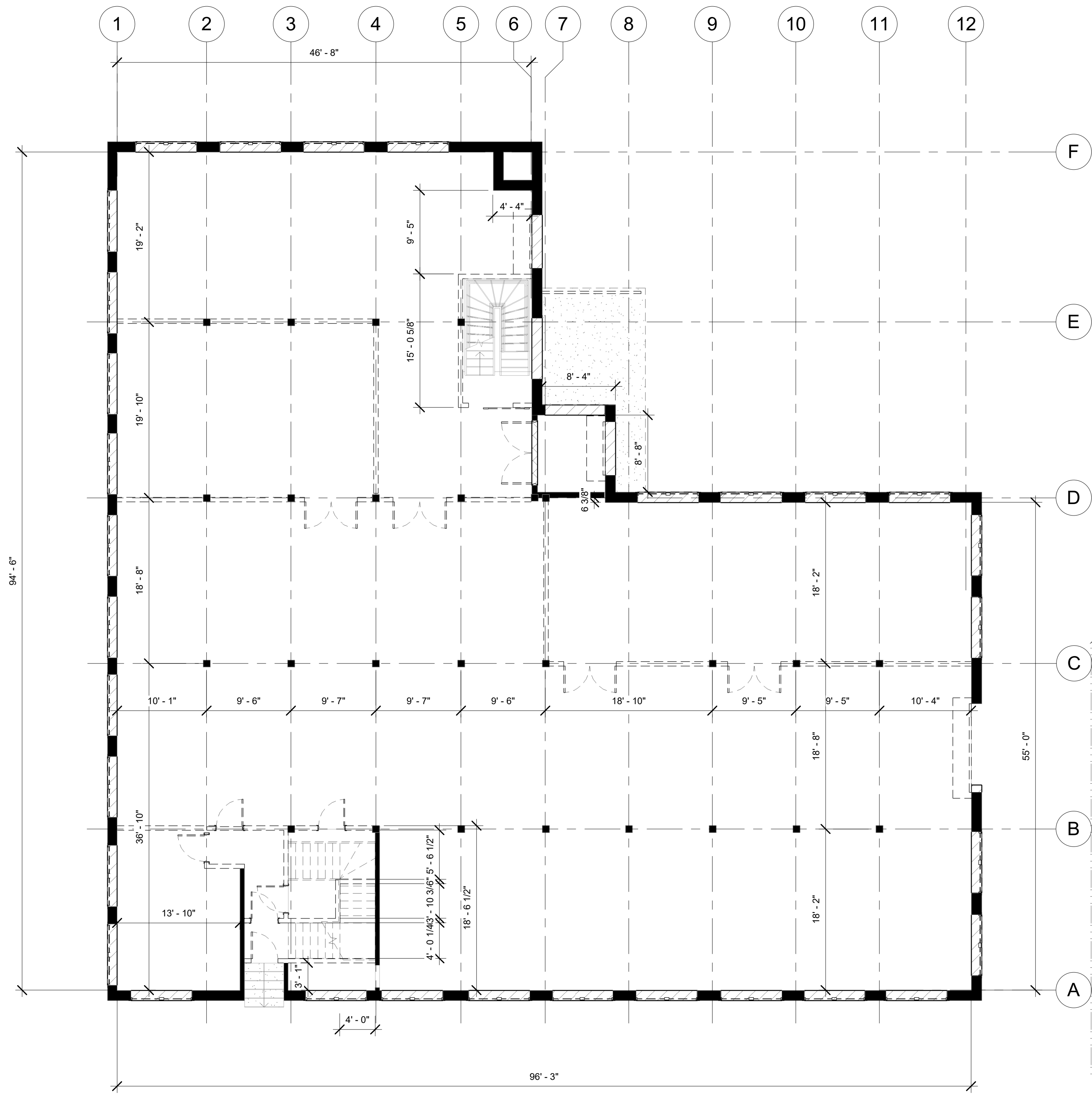
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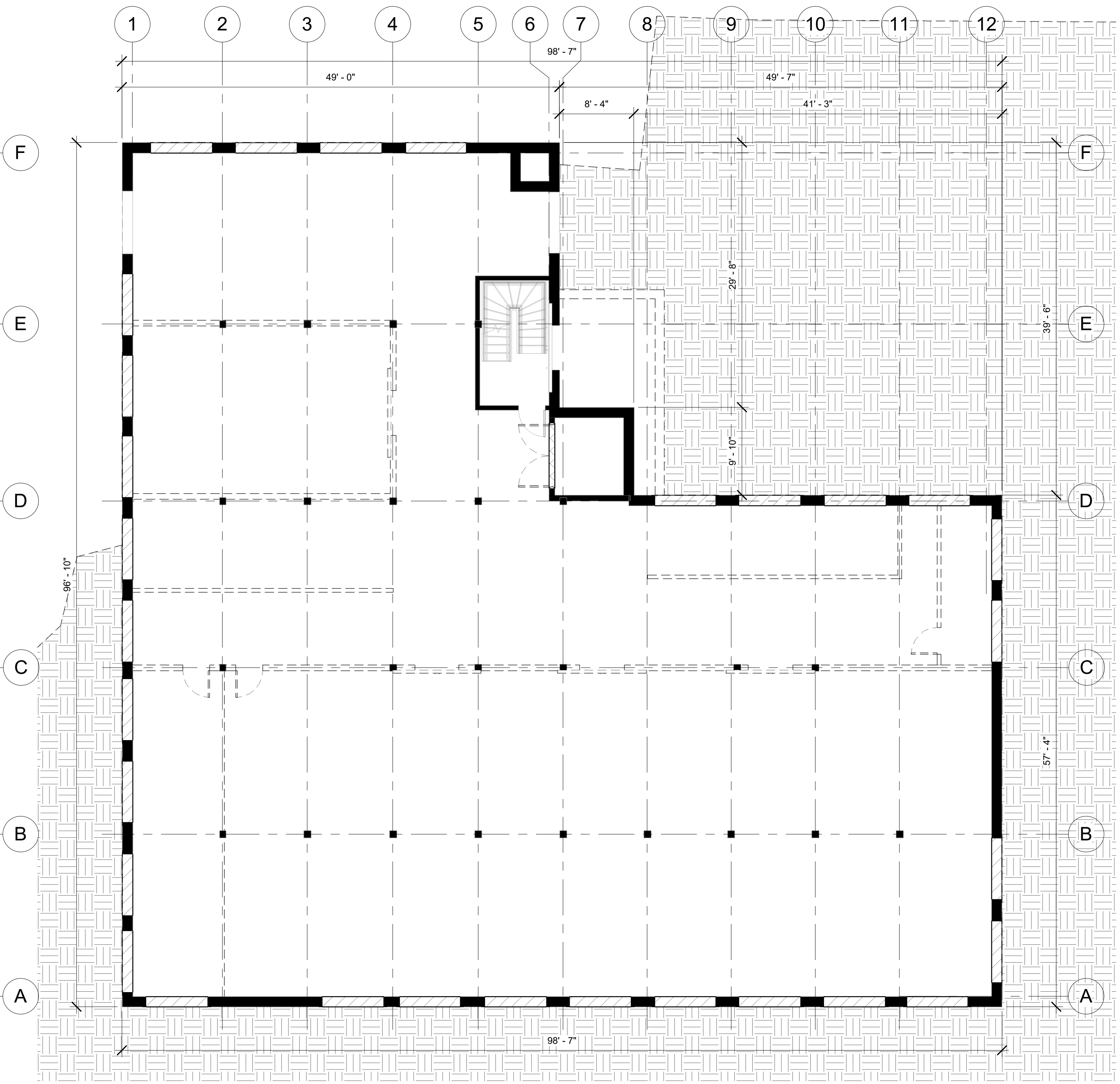
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DRAWN	Author
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DATE	1.21.2020
SCALE	1/8" = 1'-0"

GROUND/1ST FLOOR-EXISTING

A-100-EX



② 1ST FLOOR DEMO
1/8" = 1'-0"



① GROUND FLOOR DEMO
1/8" = 1'-0"

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WORCESTER MA

No.	Date	Description

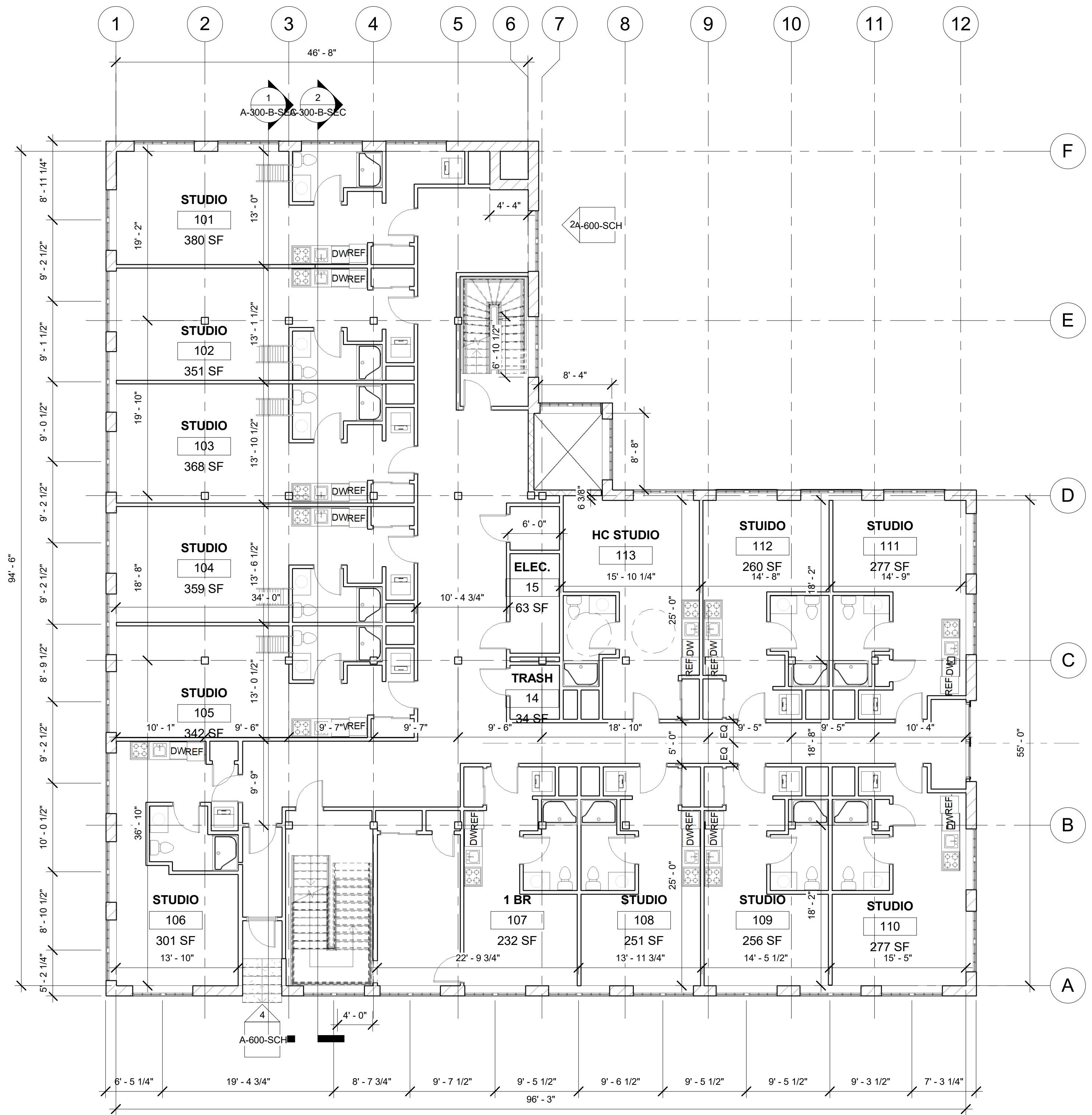
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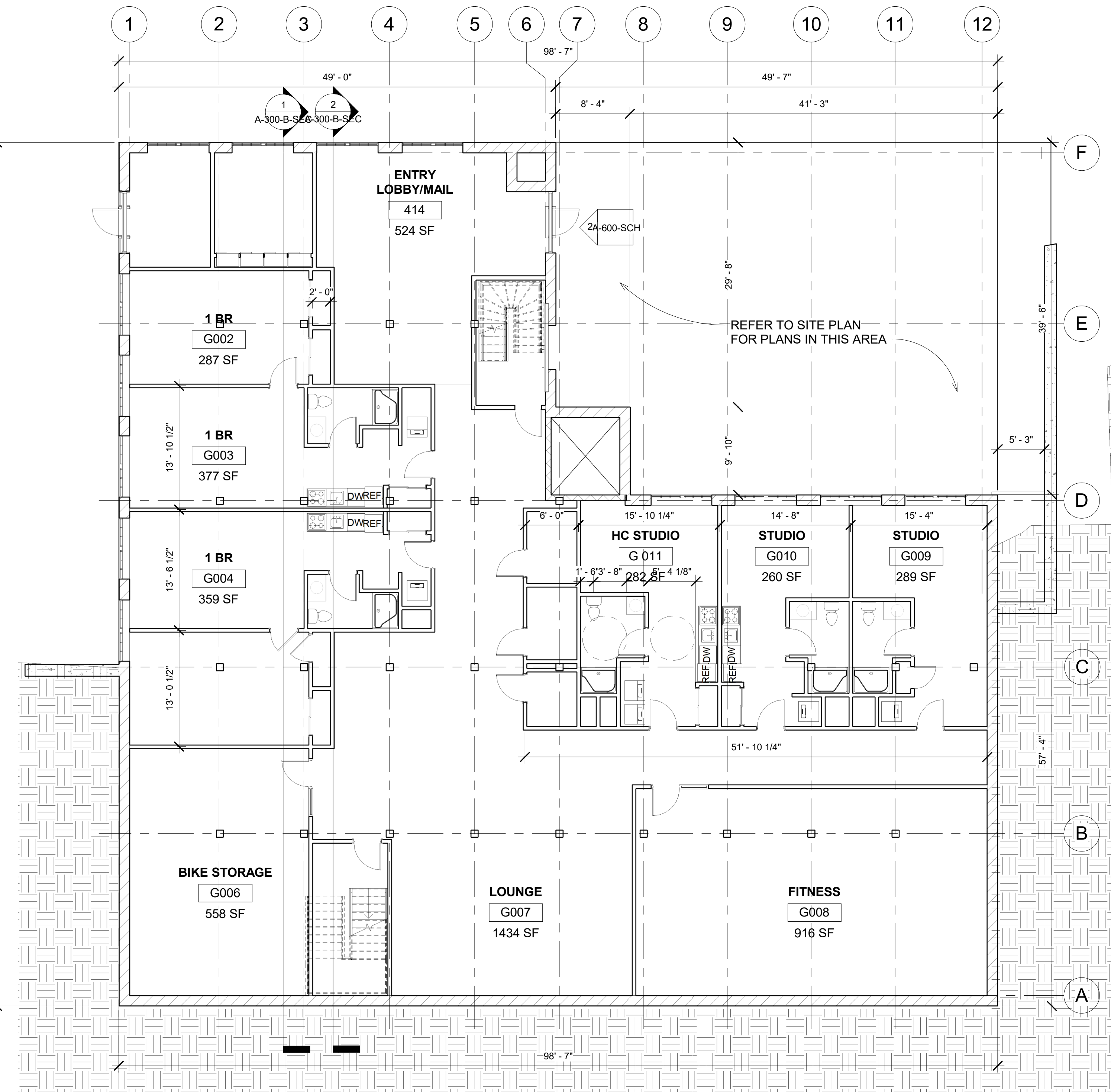
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DATE	1.21.2020
SCALE	1/8" = 1'-0"

GROUND/1ST FLOOR-DEMO

A-100-D



1 1ST FLOOR PROPOSED
1/8" = 1'-0"



2 GROUND FLOOR PROPOSED
1/8" = 1'-0"

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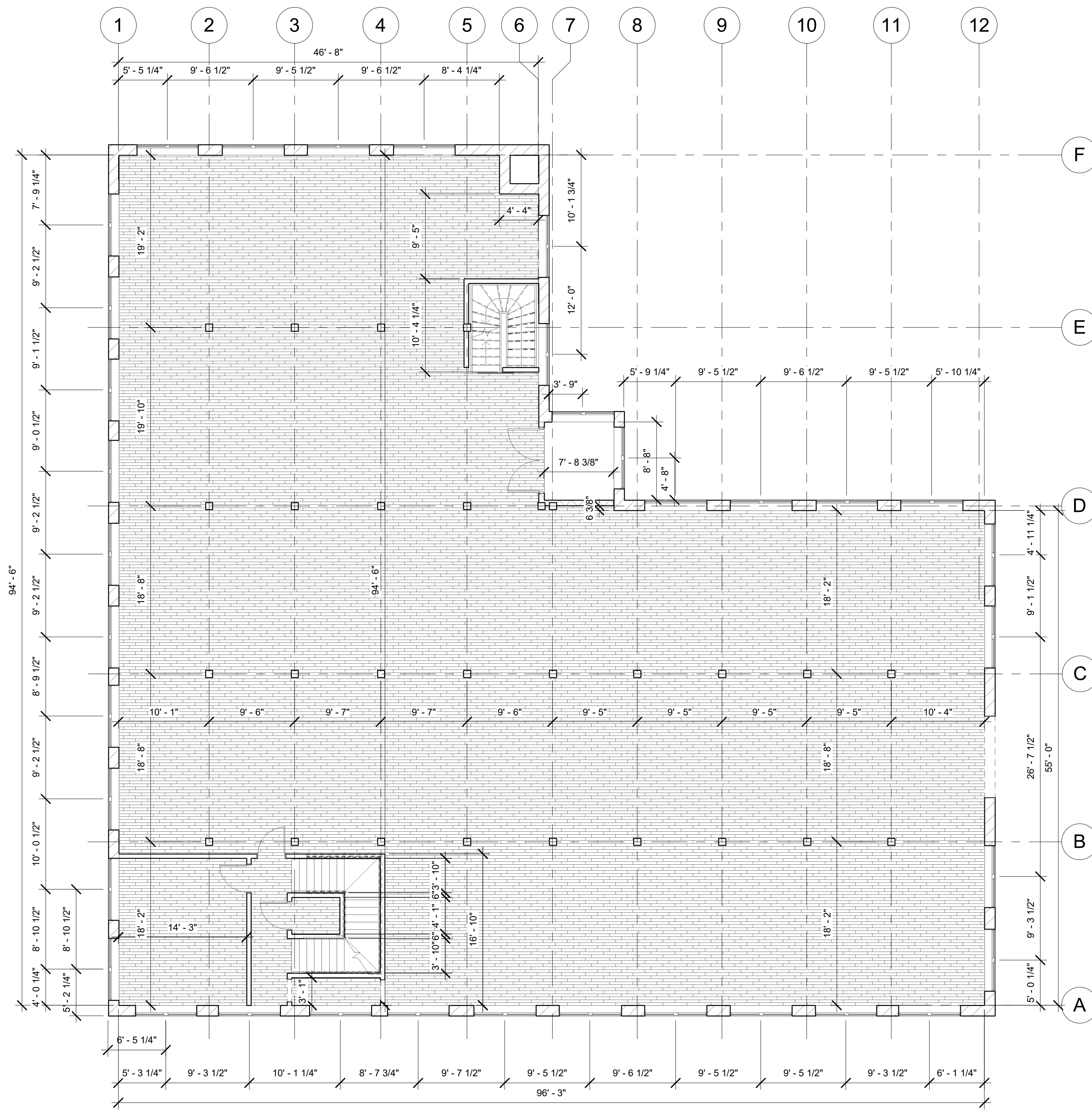
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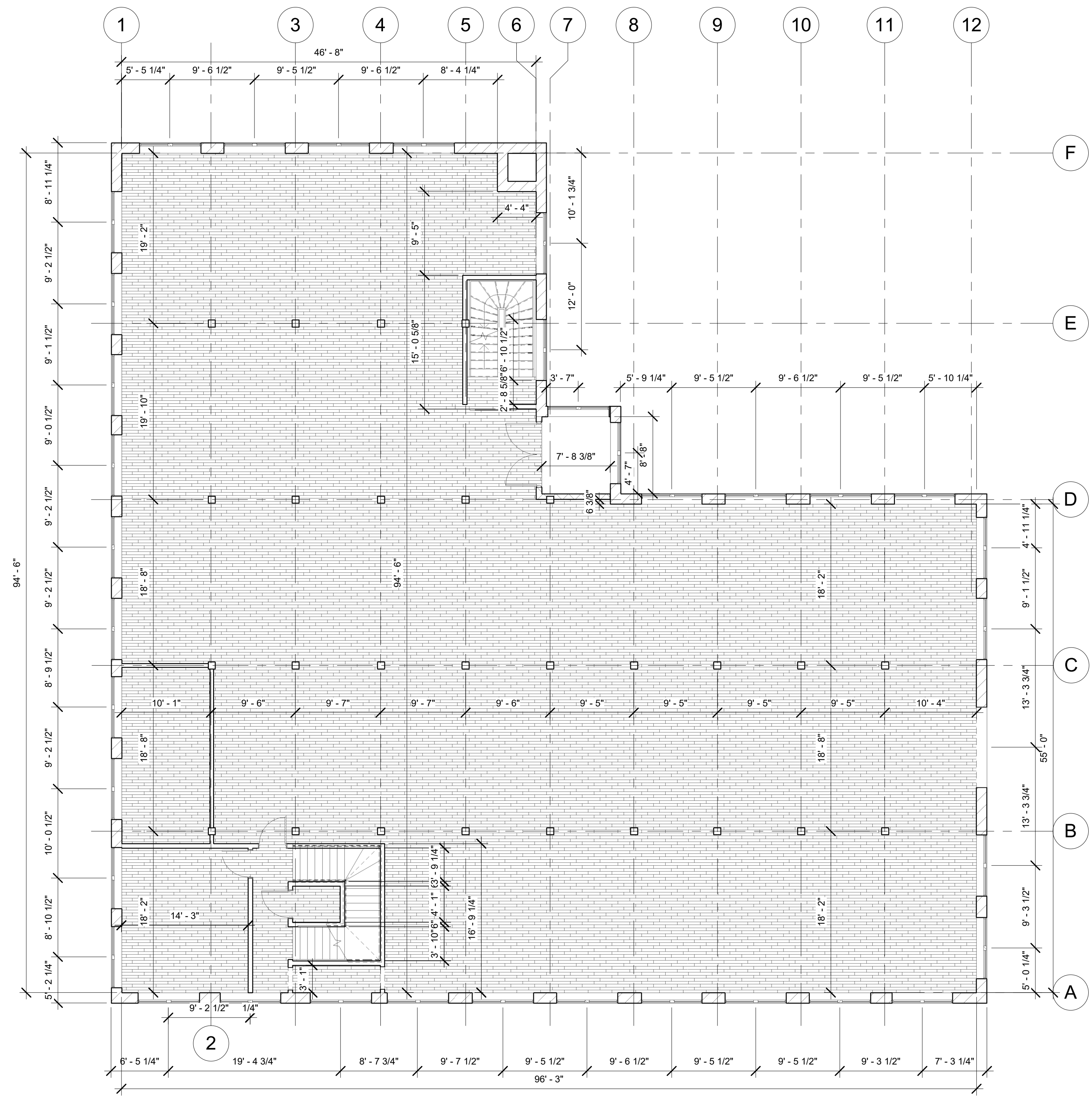
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DRAWN	Author
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DATE	1.21.2020
SCALE	1/8" = 1'-0"

**GROUND/1ST
FLOOR-PROPOSED**

A-100-PR



② 3RD FLOOR EXISTING
1/8" = 1'-0"



① 2ND FLOOR EXISTING
1/8" = 1'-0"

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98 BEACON STREET
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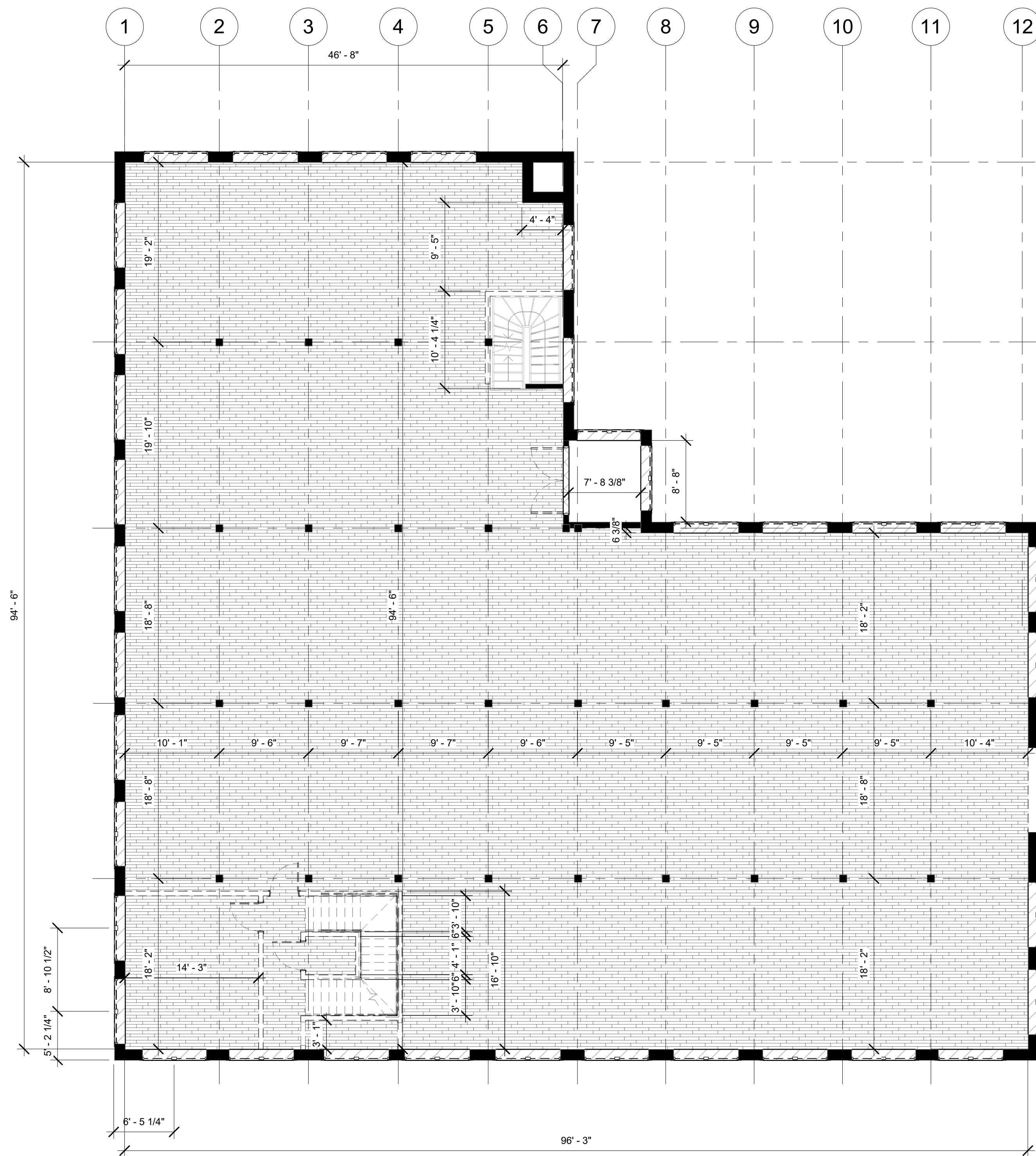
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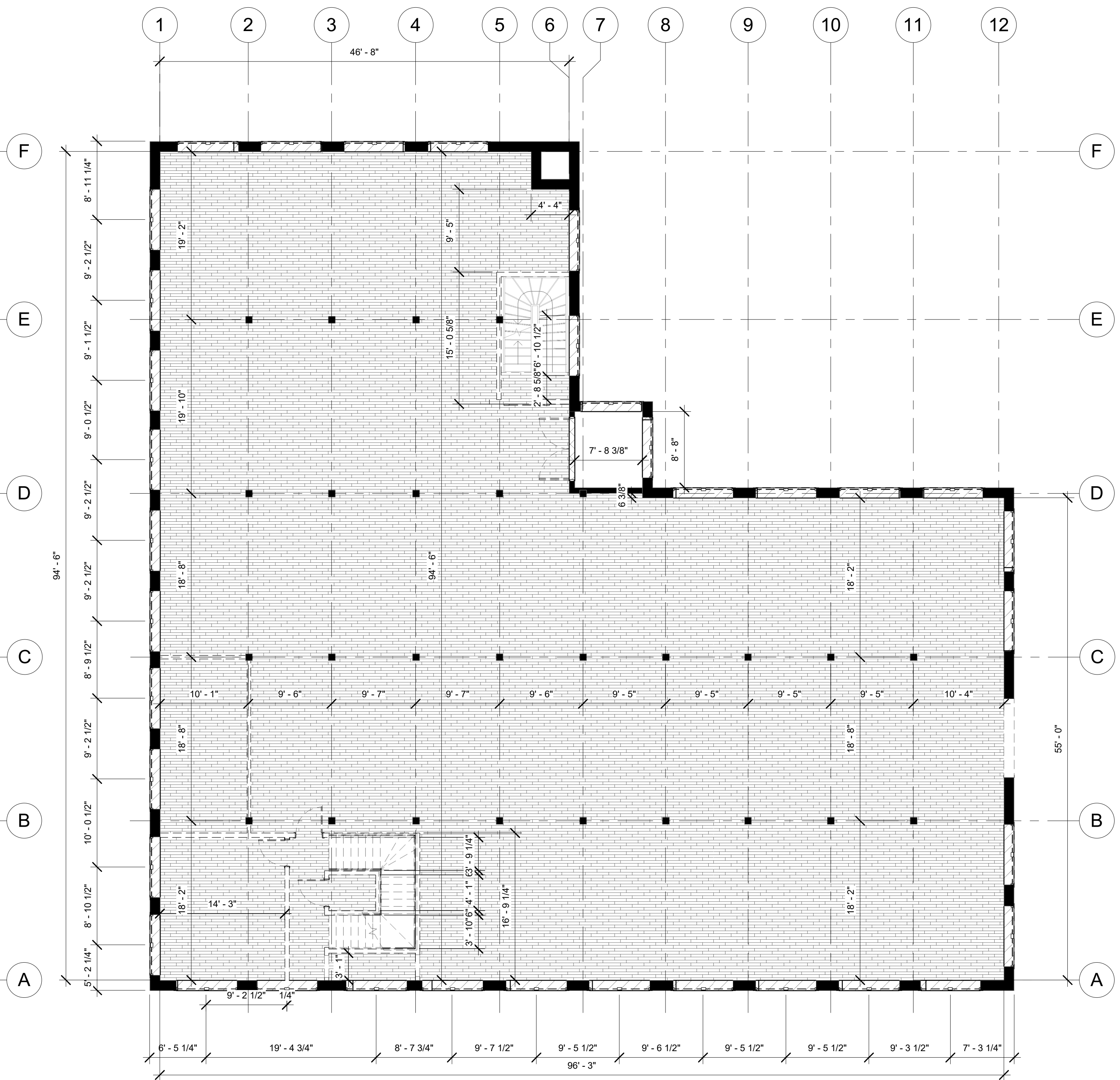
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DRAWN	Author
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DATE	1.21.2020
SCALE	1/8" = 1'-0"

**2ND/3RD
FLOOR-EXISTING**

A-101-EX



② 3RD FLOOR DEMO
1/8" = 1'-0"



① 2ND FLOOR DEMO
1/8" = 1'-0"

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No.	Date	Description

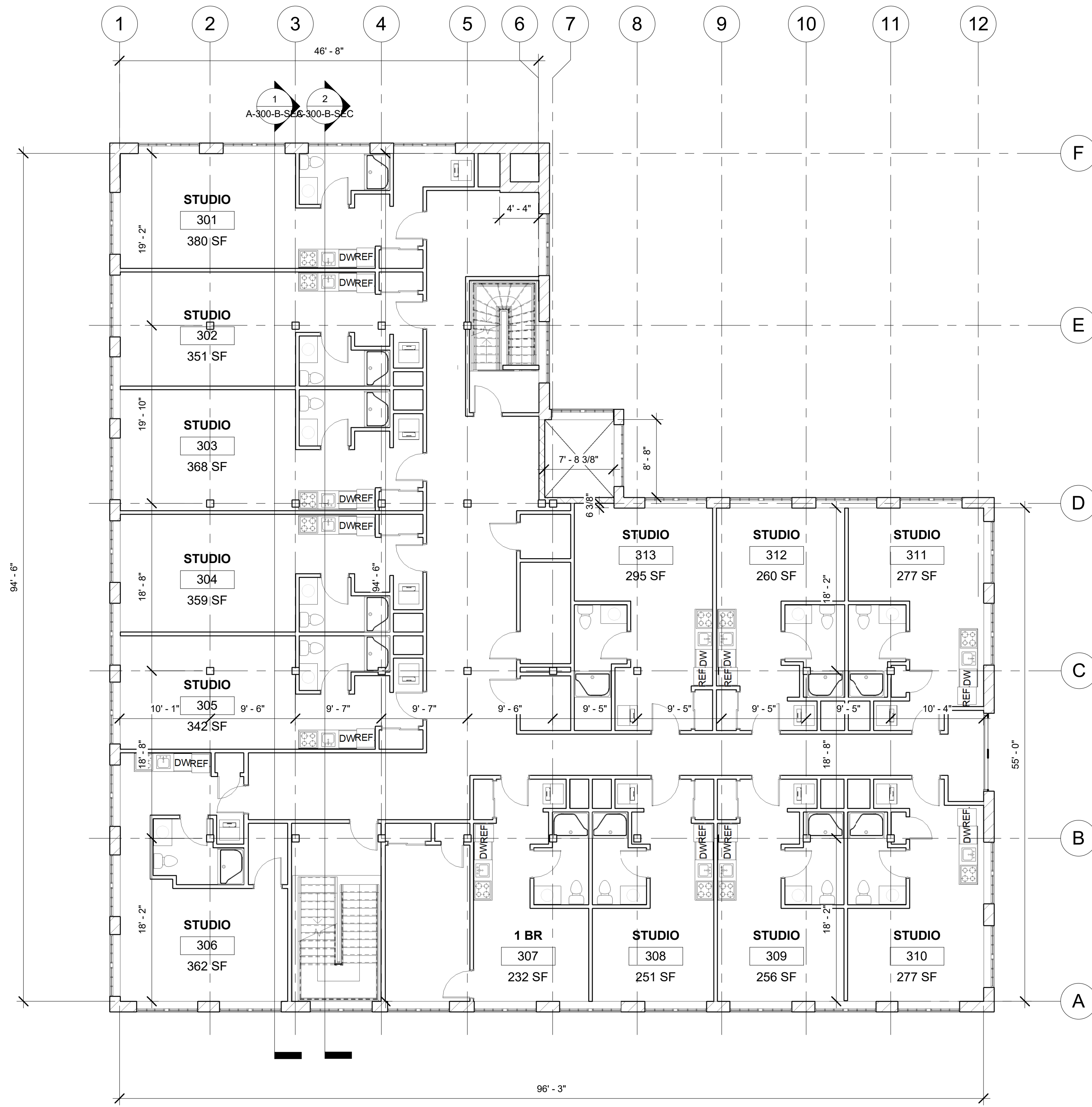
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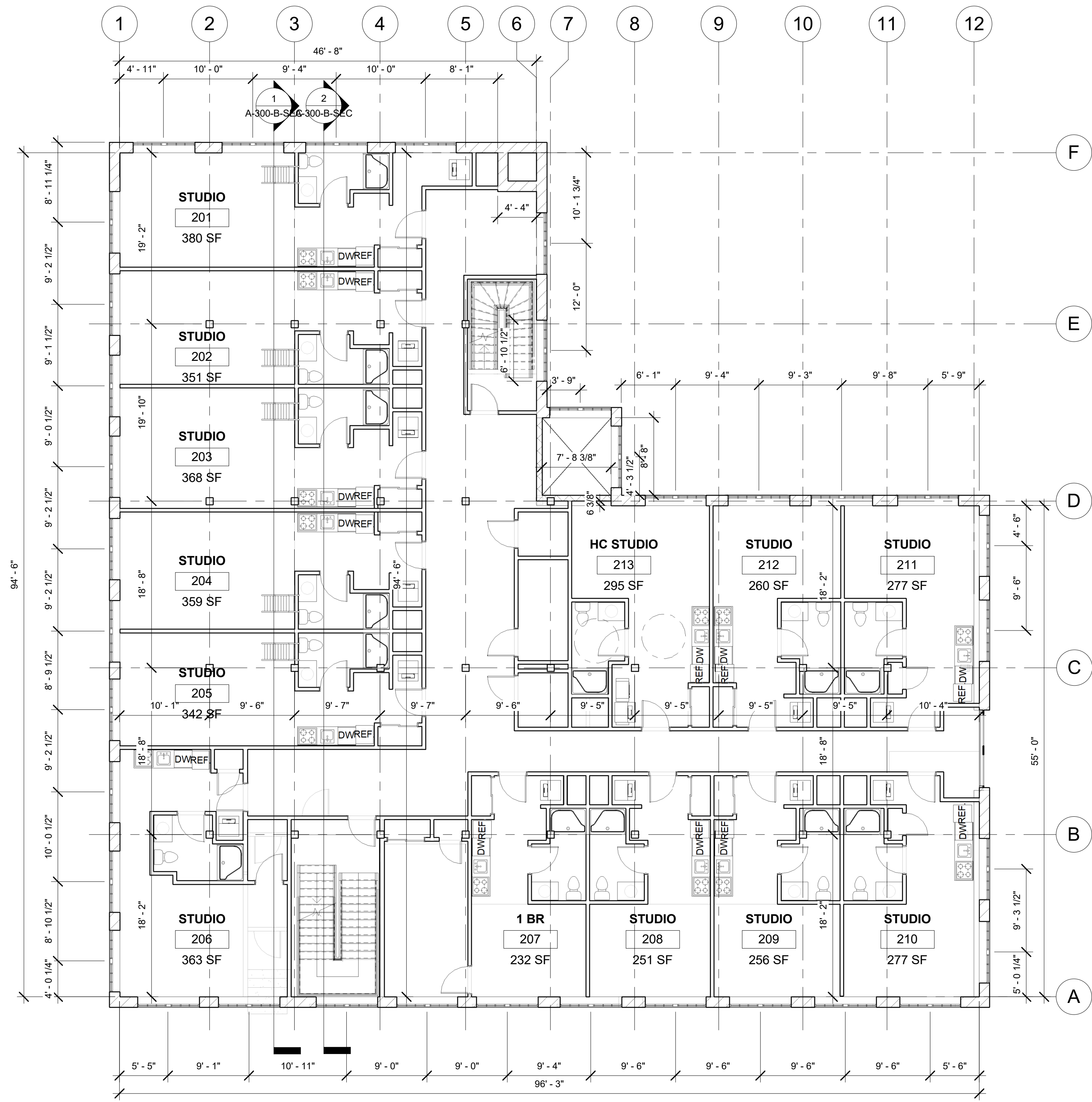
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DATE	1.21.2020
SCALE	1/8" = 1'-0"

2ND/3RD FLOOR-DEMO

A-101-D



2 3RD FLOOR PROPOSED
1/8" = 1'-0"



1 2ND FLOOR PROPOSED
1/8" = 1'-0"



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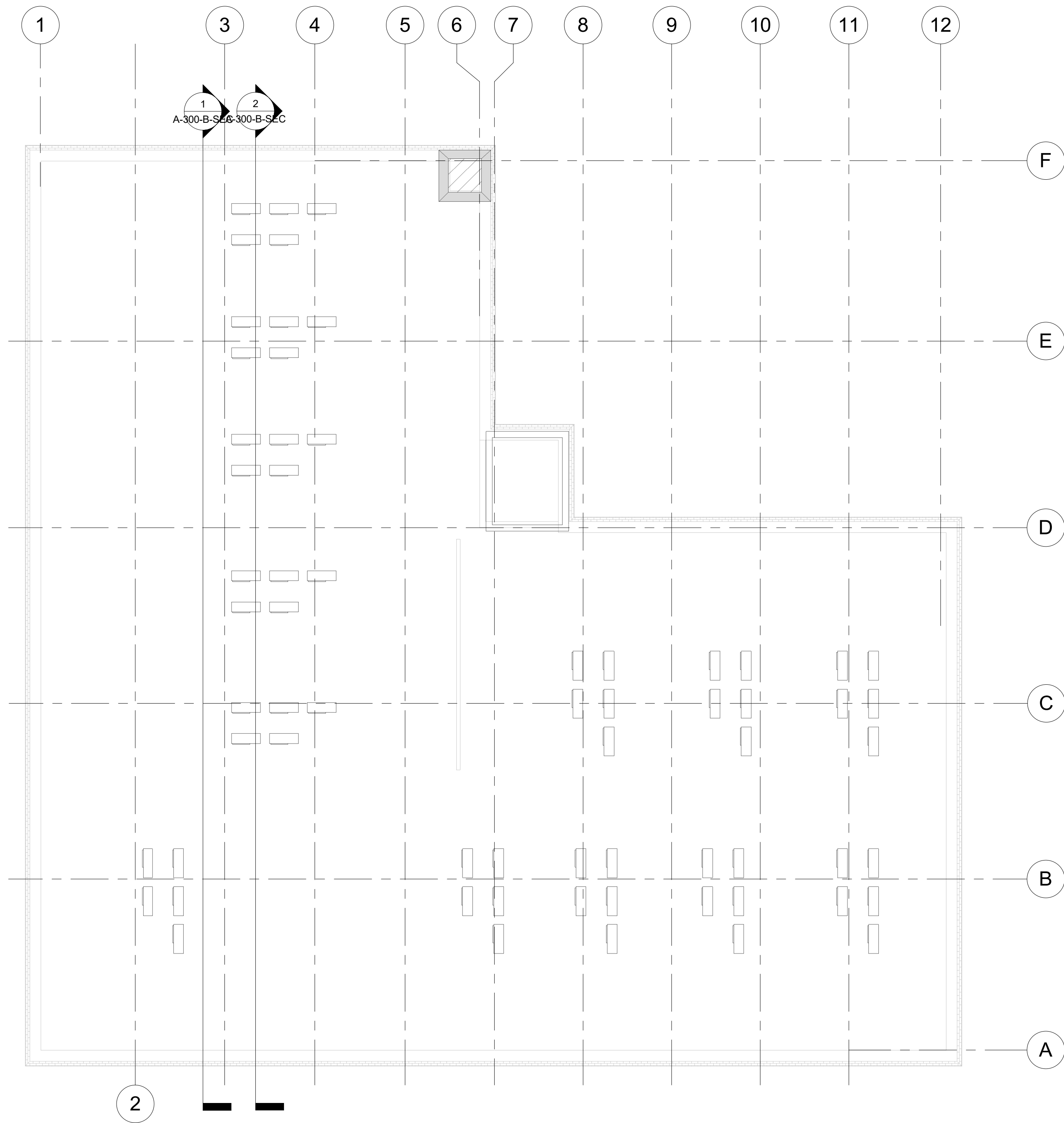
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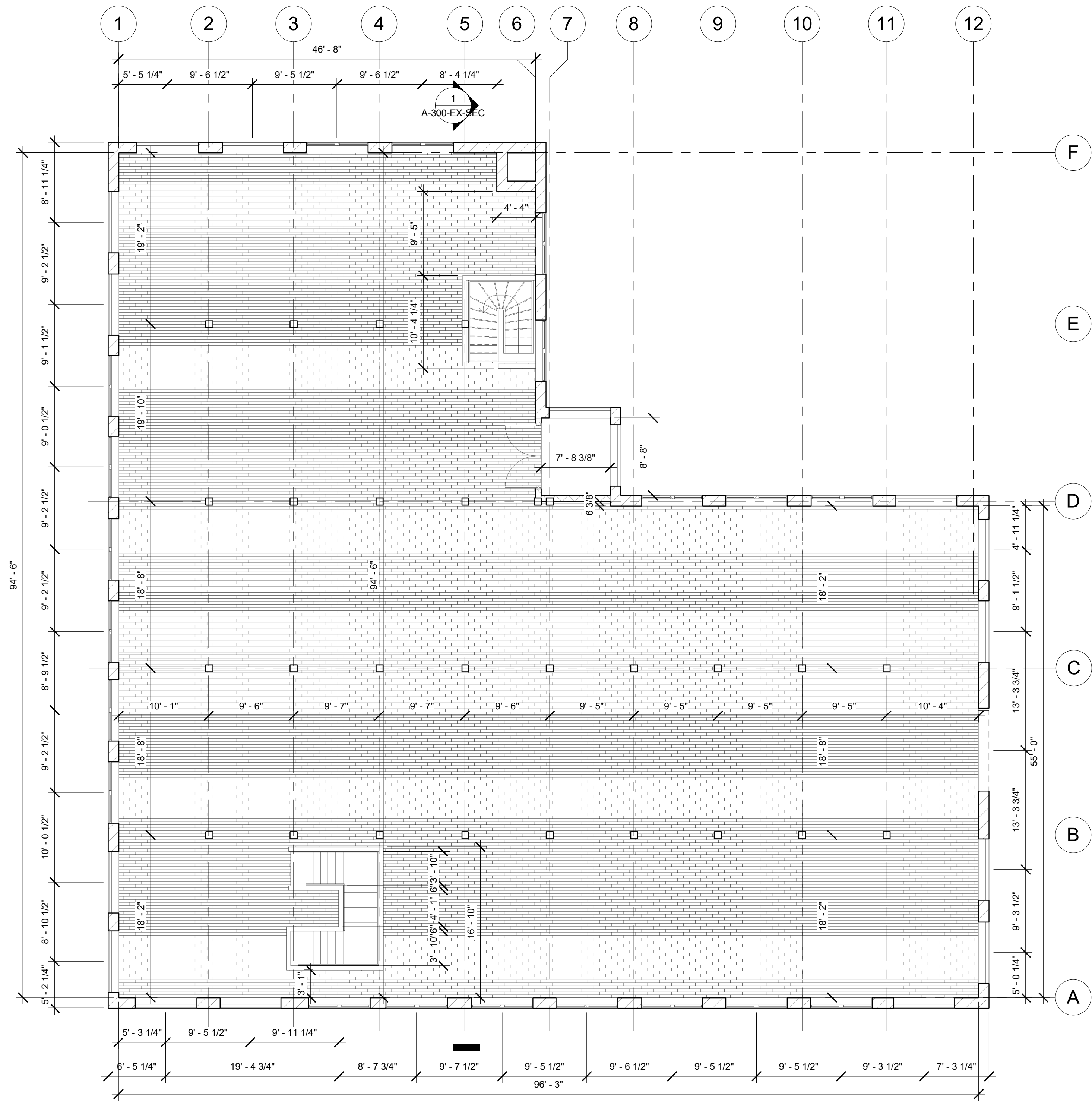
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SCALE	1/8" = 1'-0"

**2ND/3RD
FLOOR-PROPOSED**

A-101-PR



2 ROOF PLAN EXISTING
1/8" = 1'-0"



1 4TH FLOOR EXISTING
1/8" = 1'-0"

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No.	Date	Description

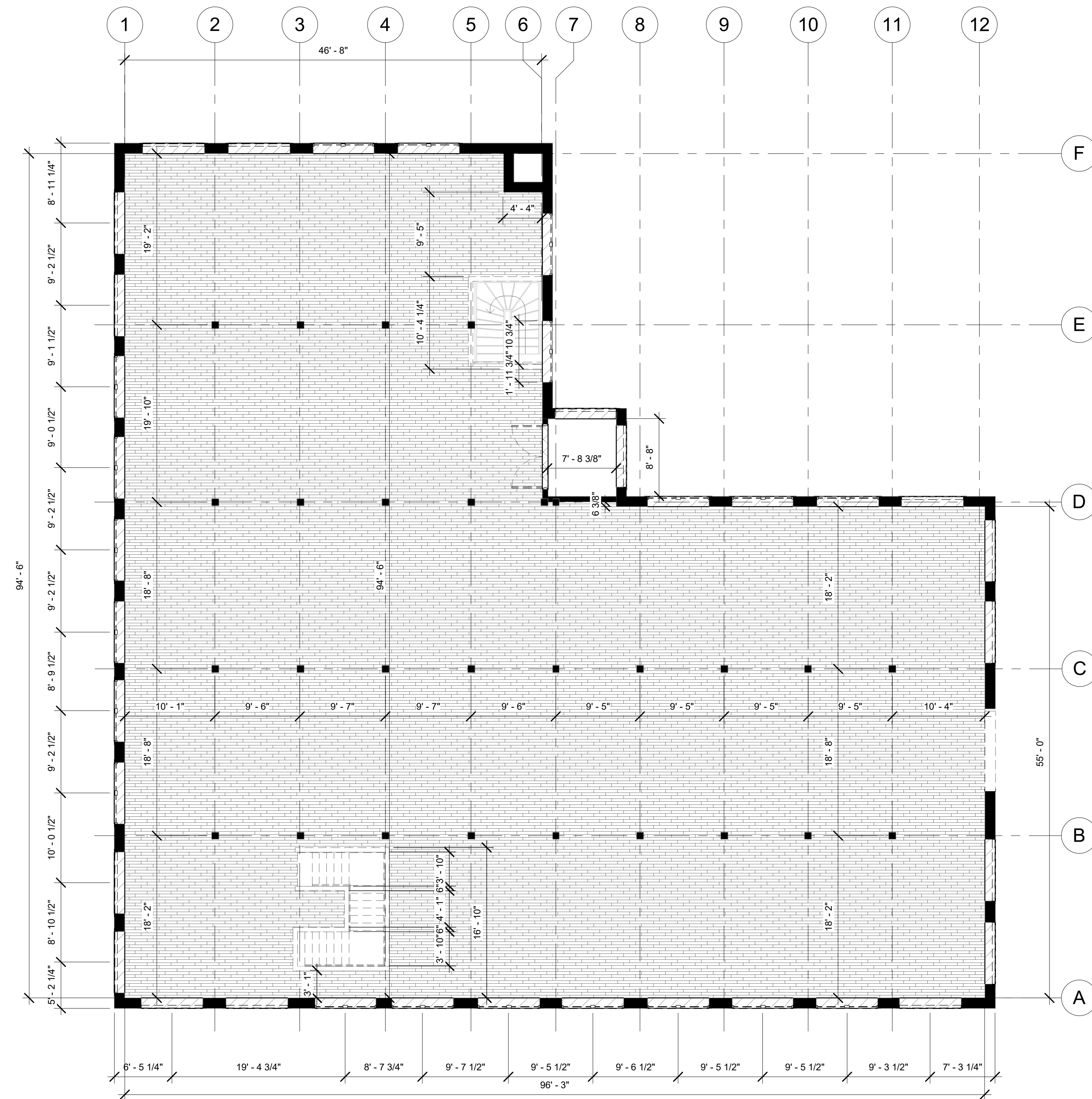
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SCALE	1/8" = 1'-0"

**4TH/ROOF
PLAN-EXISTING**

A-102-EX



① 4TH FLOOR DEMO
1/8" = 1'-0"

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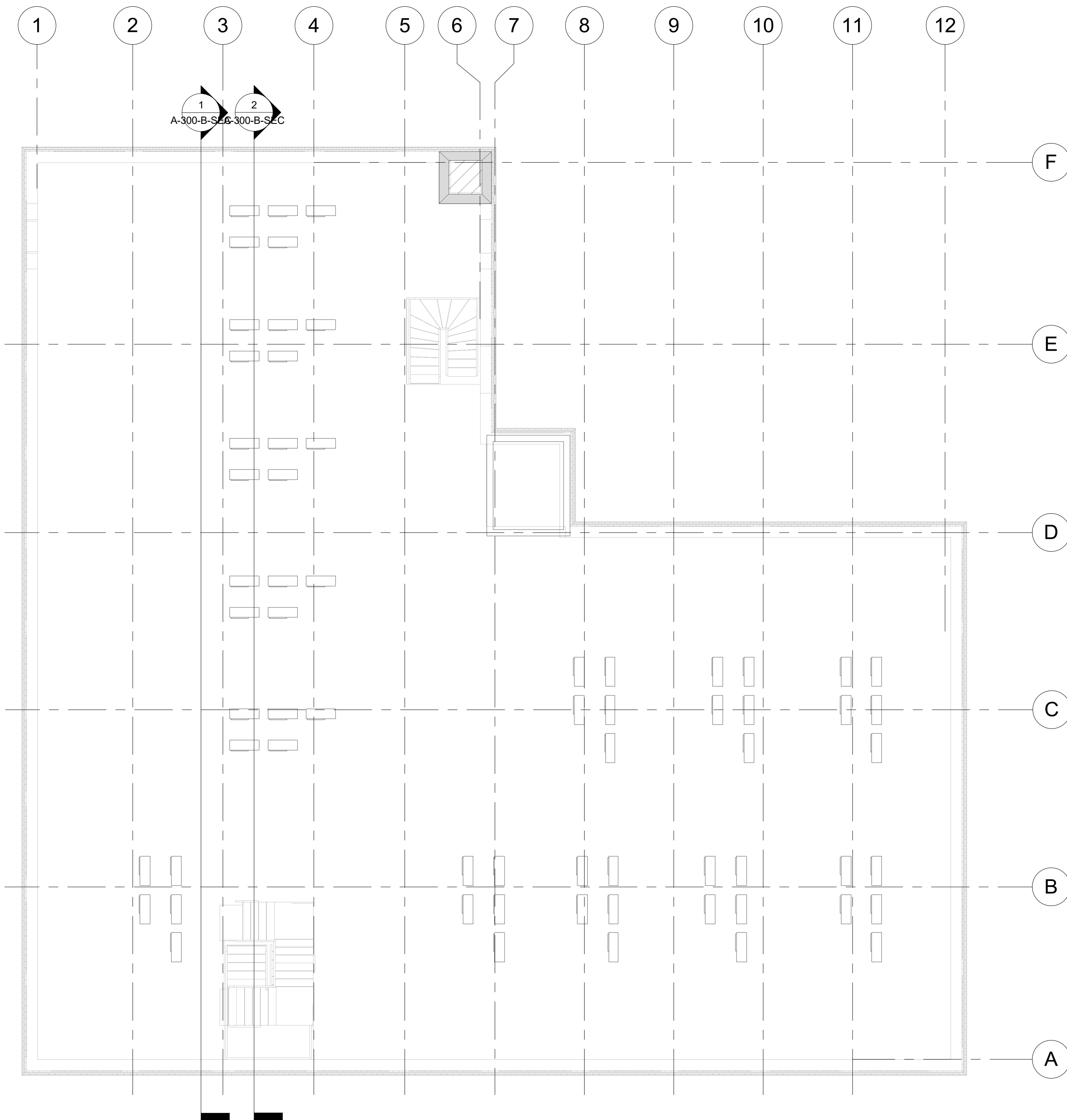
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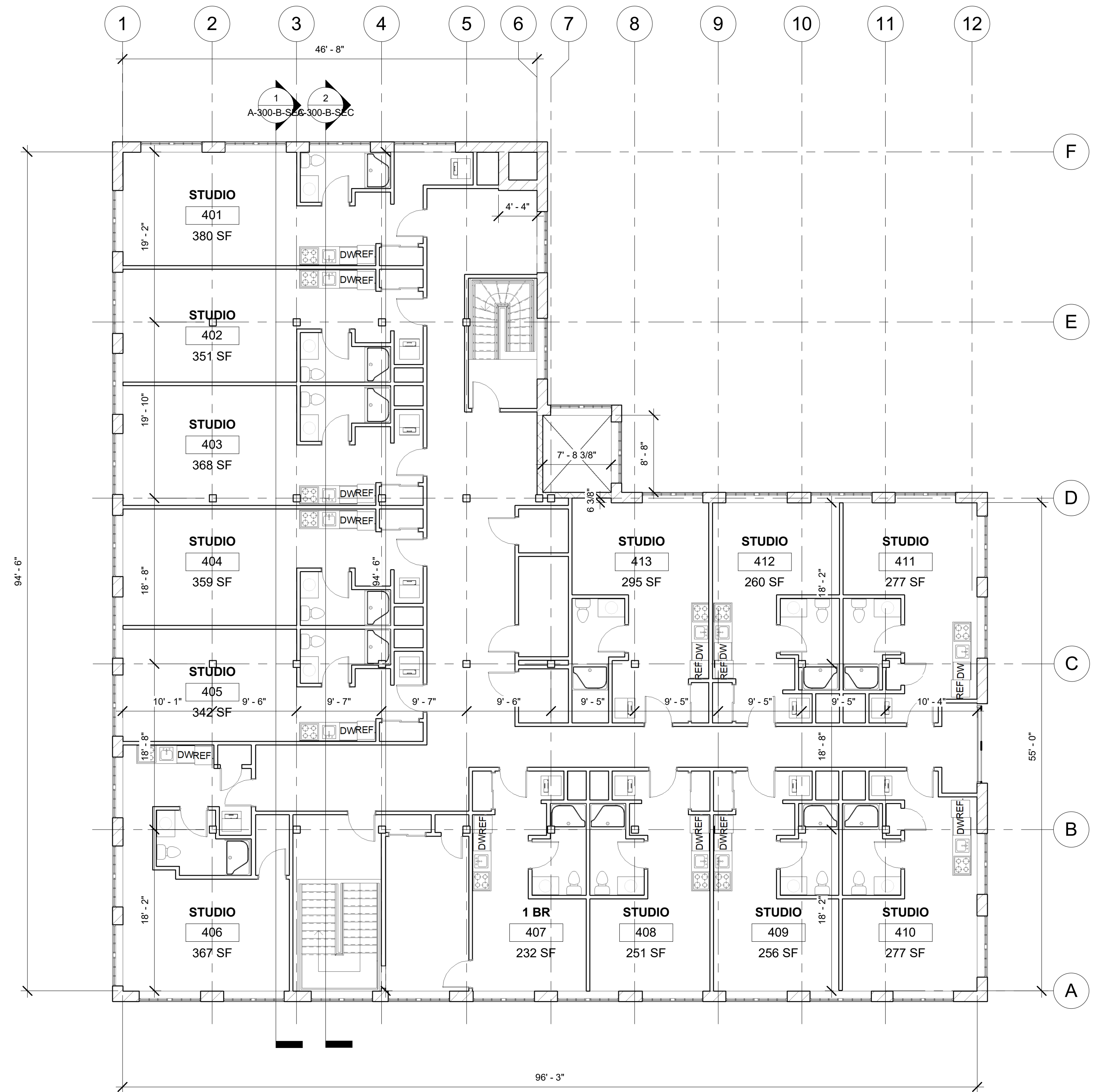
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SCALE	1/8" = 1'-0"

4TH/ROOF PLAN-DEMO

A-102-D



2 ROOF PLAN PROPOSED
1/8" = 1'-0"



1 4TH FLOOR PROPOSED
1/8" = 1'-0"

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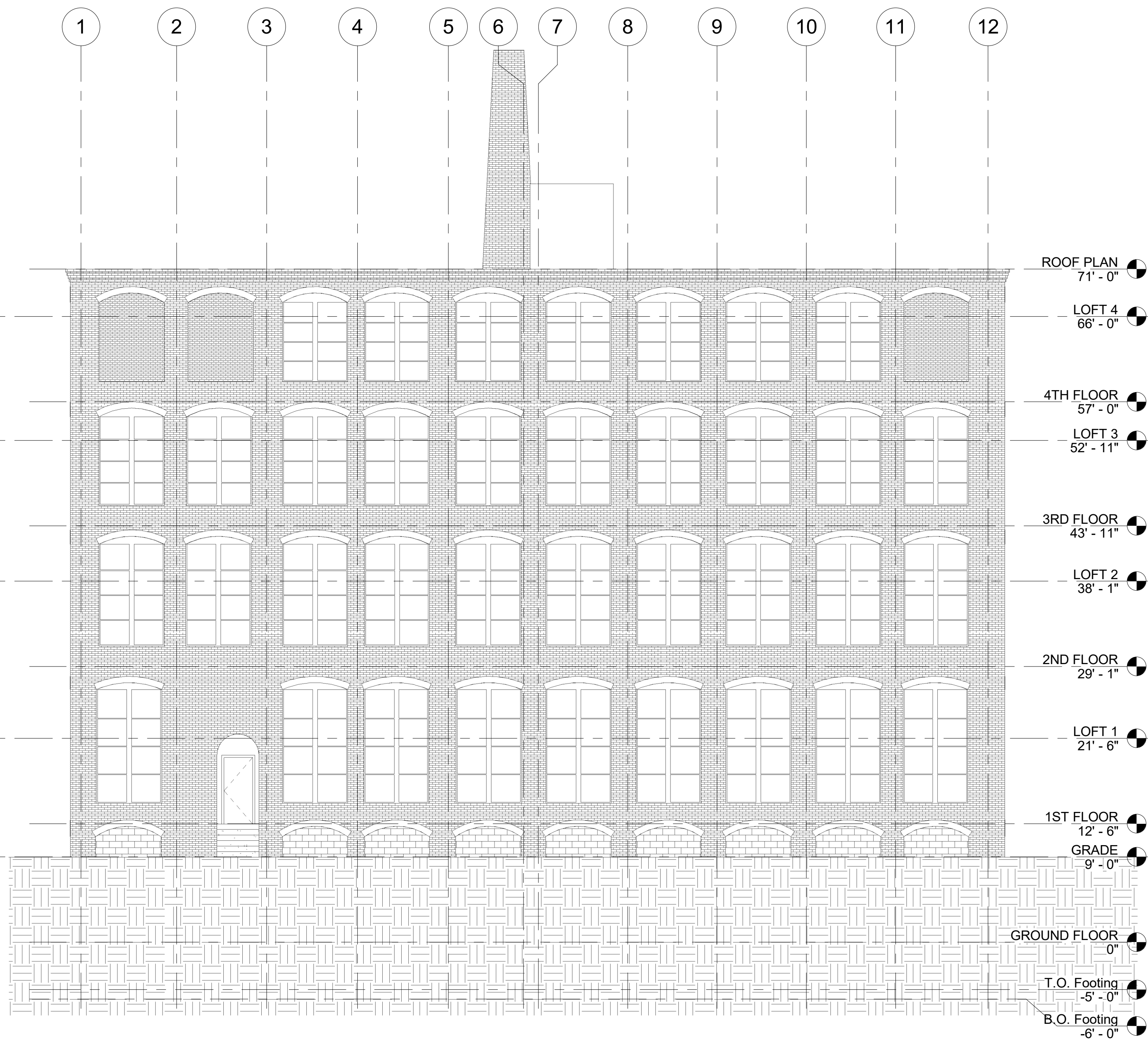
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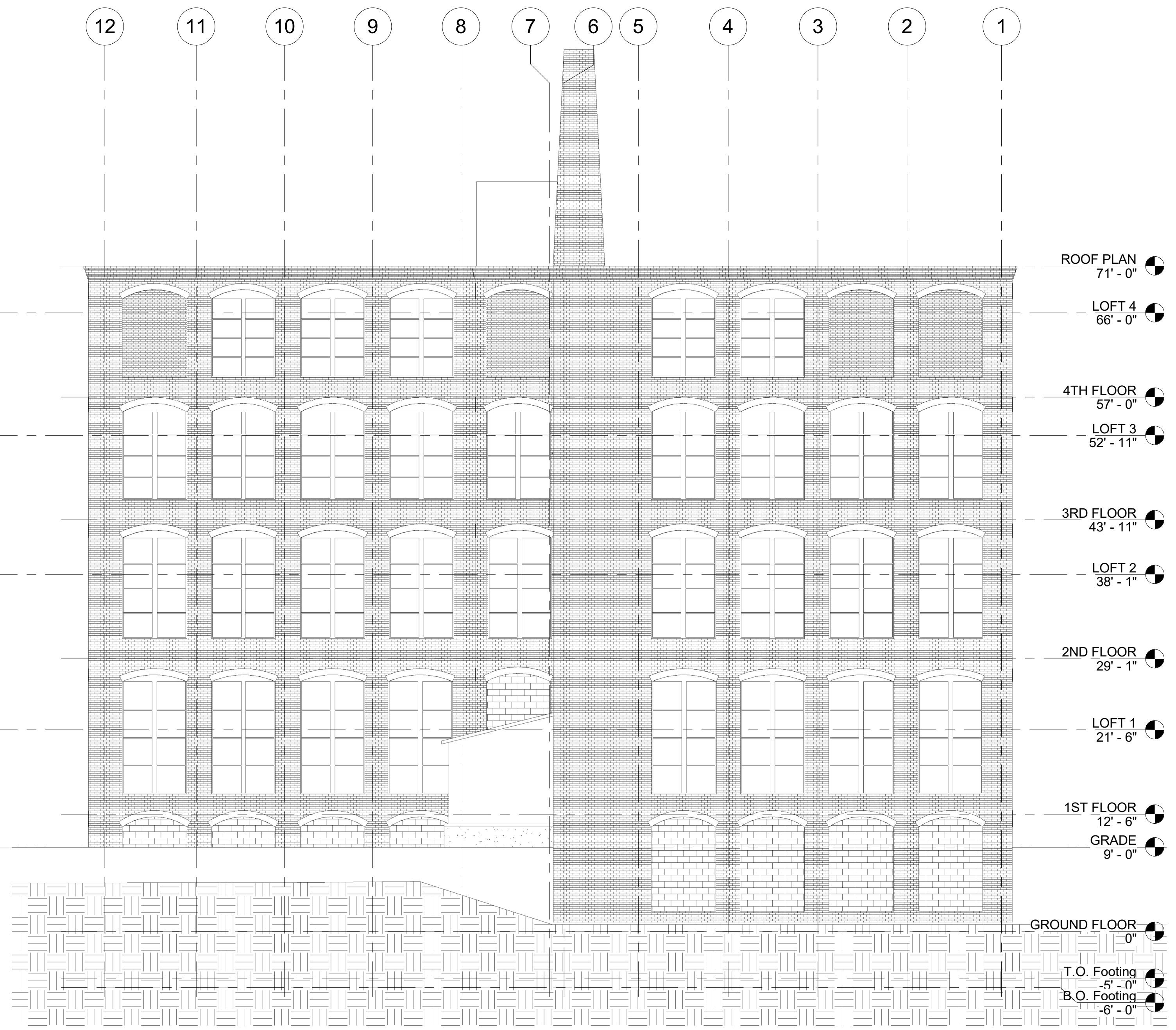
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DATE	1.21.2020
SCALE	1/8" = 1'-0"

4TH/ROOF PLAN-PROPOSED

A-102-PR



① WEST ELEVATION EXISTING
1/8" = 1'-0"



② EAST ELEVATION EXISTING
1/8" = 1'-0"

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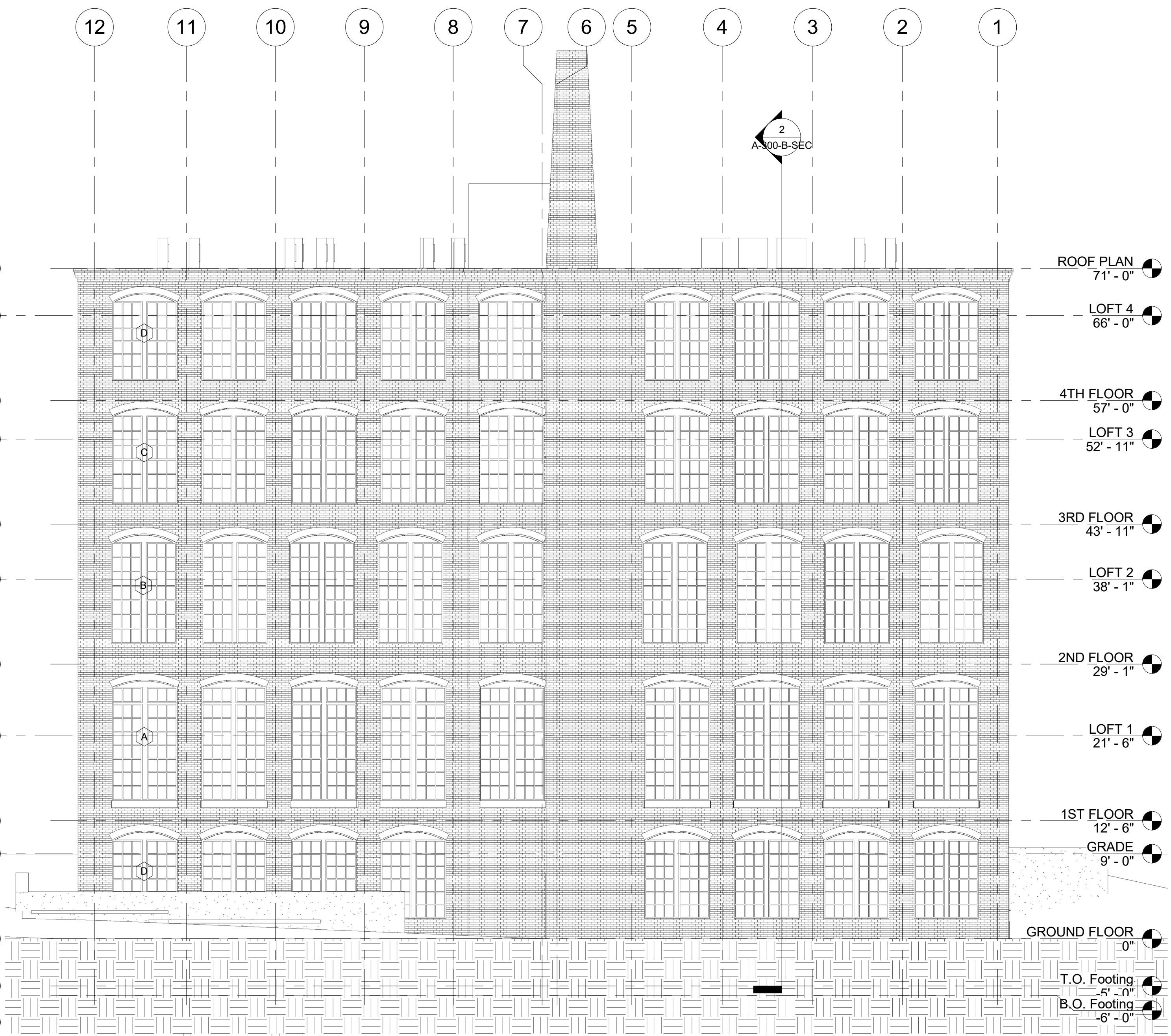
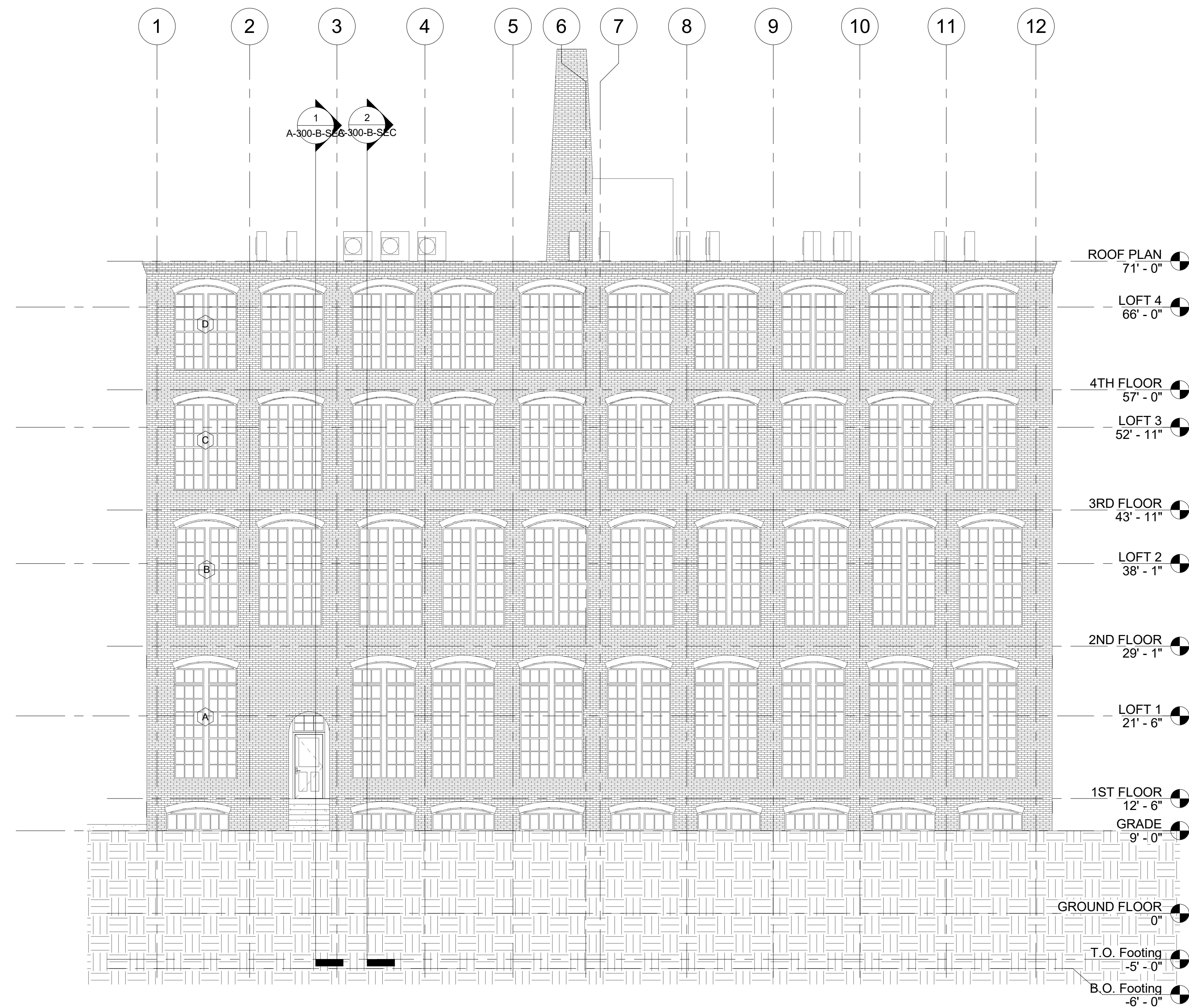
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SCALE	1/8" = 1'-0"

ELEVATIONS-EXISTING

A-200-EX



2 WEST ELEVATION PROPOSED
1/8" = 1'-0"

1 EAST ELEVATION PROPOSED
1/8" = 1'-0"

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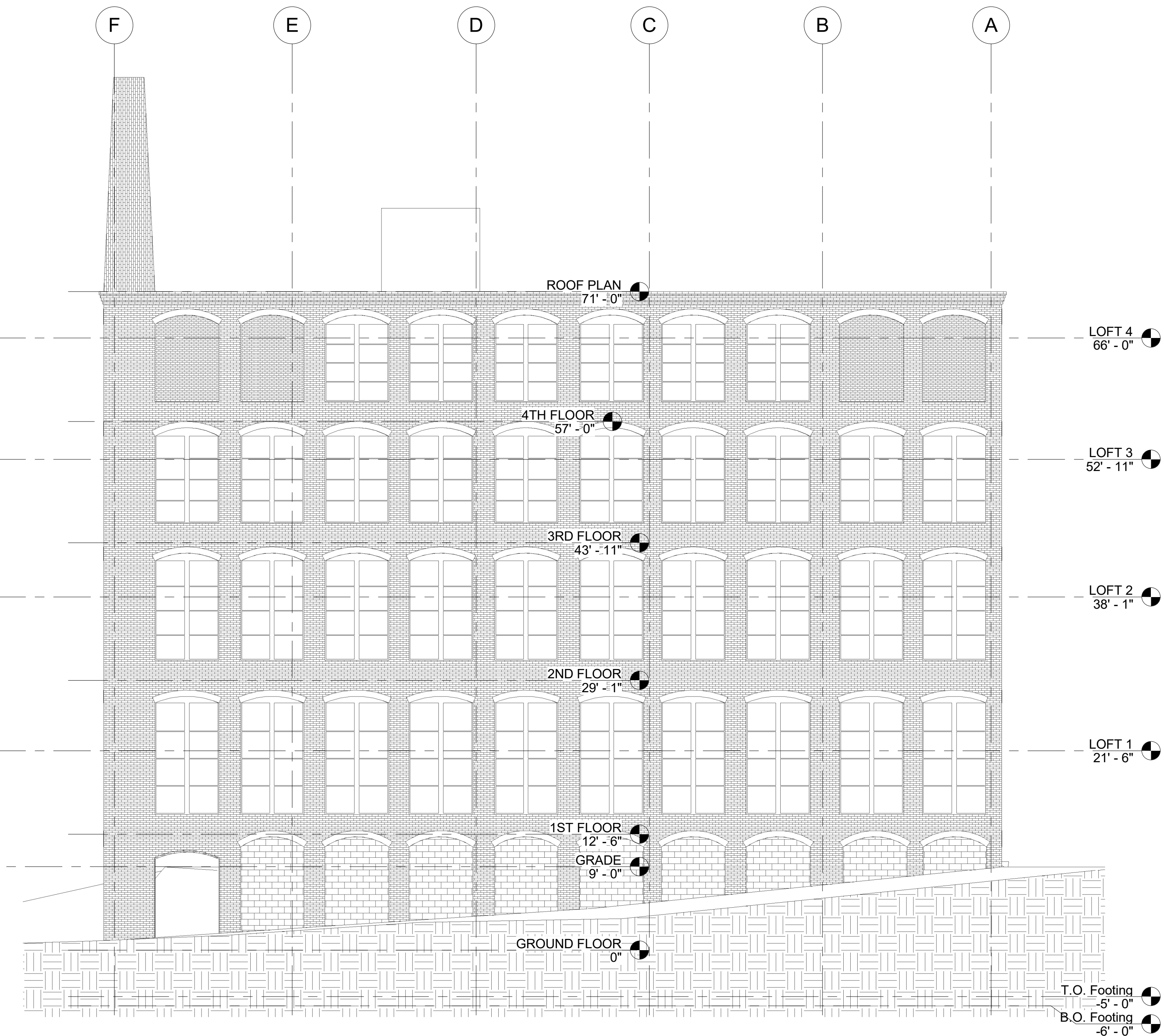
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SCALE	1/8" = 1'-0"

ELEVATIONS-PROPOSED

A-200-PR



① SOUTH ELEVATION EXISTING
1/8" = 1'-0"

② NORTH ELEVATION EXISTING
1/8" = 1'-0"

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No.	Date	Description

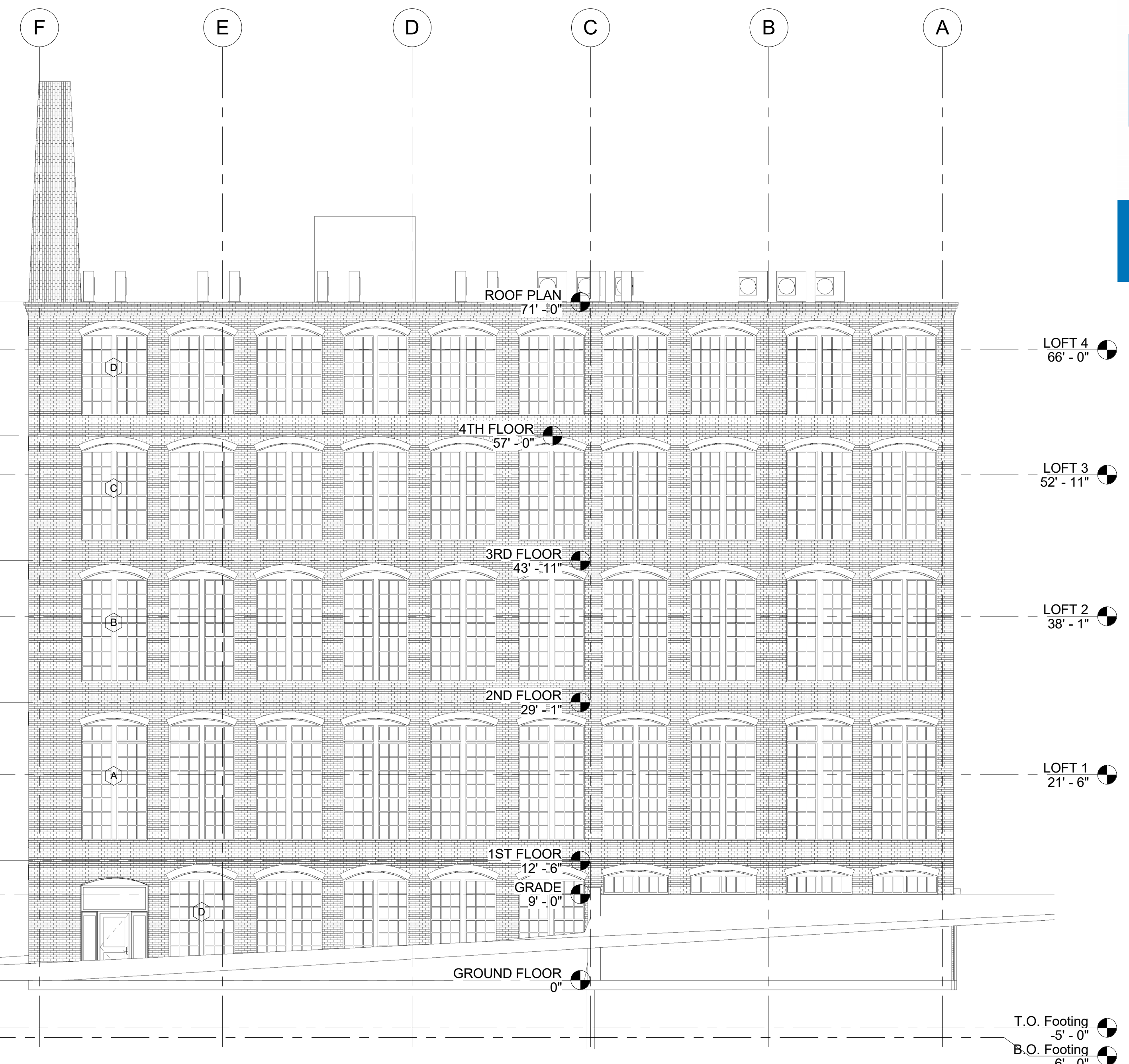
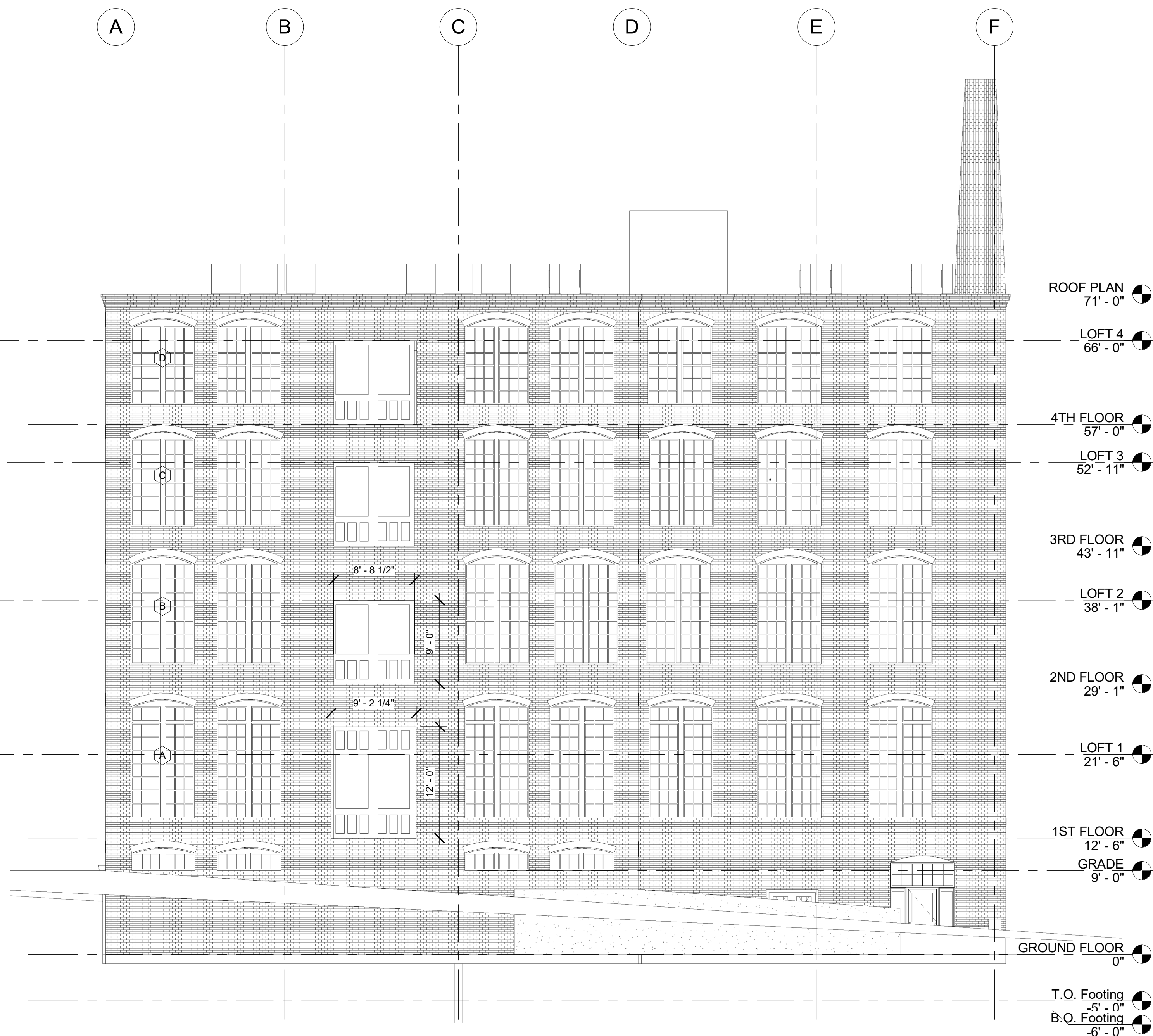
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SCALE	1/8" = 1'-0"

ELEVATIONS-EXISTING

A-201-EX



2 SOUTH ELEVATION PROPOSED
1/8" = 1'-0"

1 NORTH ELEVATION PROPOSED
1/8" = 1'-0"

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DATE	1.21.2020
SCALE	1/8" = 1'-0"

ELEVATIONS-PROPOSED

A-201-PR



1 EXISTING BUILDING SECTION
1/8" = 1'-0"

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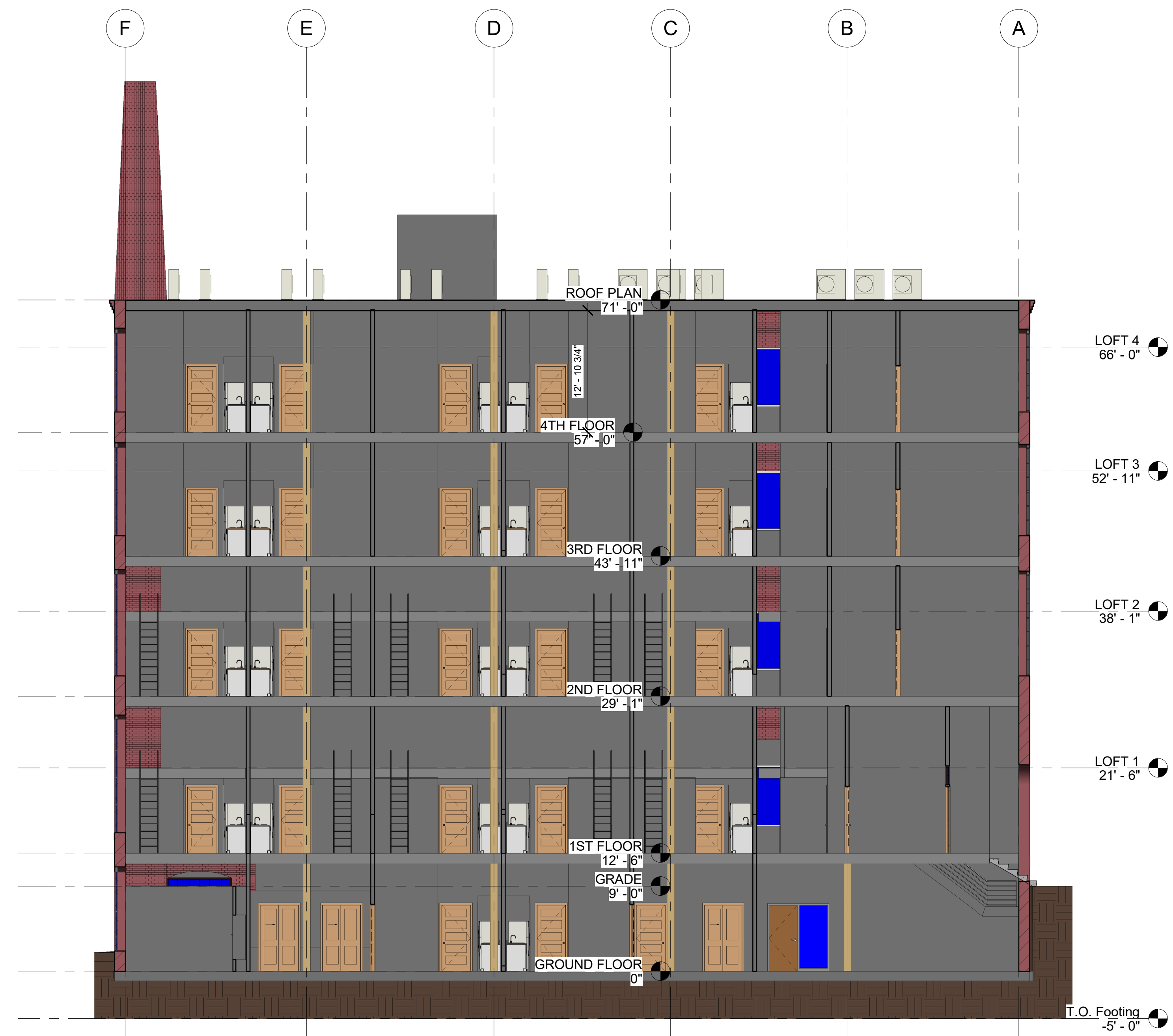
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DATE	1.21.2020
SCALE	1/8" = 1'-0"

EXISTING BUILDING SECTIONS

A-300-EX-SEC



2 PROPOSED BUILDING SECTION 2
1/8" = 1'-0"



1 PROPOSED BUILDING SECTION 1
1/8" = 1'-0"

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No.	Date	Description

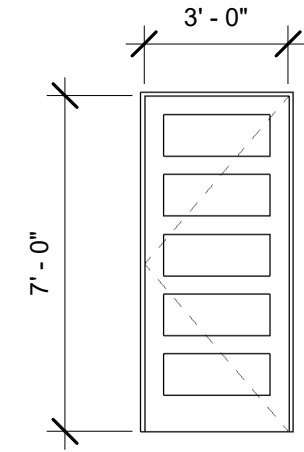
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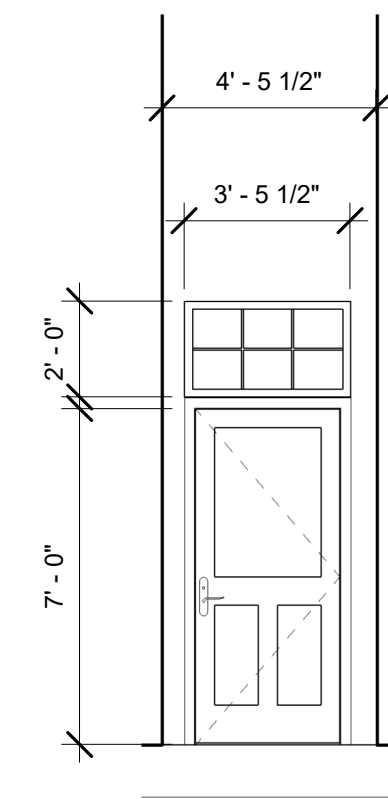
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SCALE	1/8" = 1'-0"

BUILDING SECTIONS

A-300-B-SEC



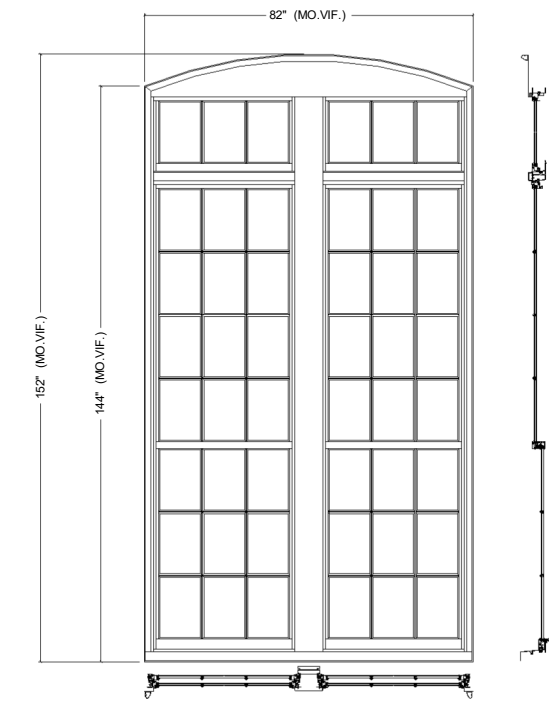
① TYPICAL INTERIOR DOOR ELEVATION
1/4" = 1'-0"



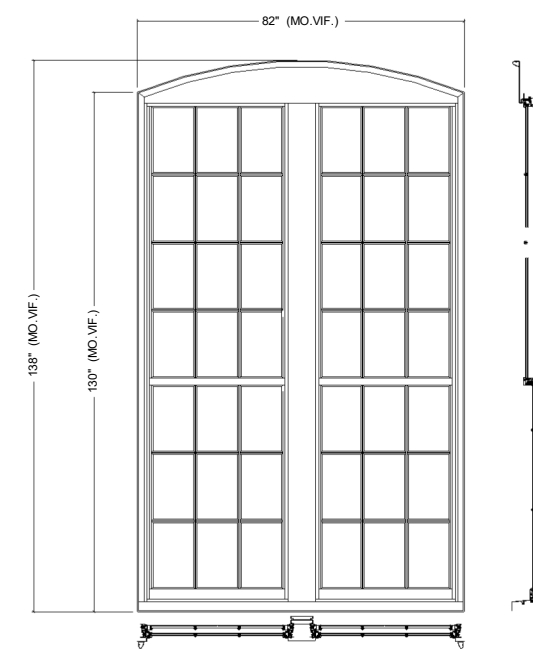
④ Elevation 3 - a
1/4" = 1'-0"



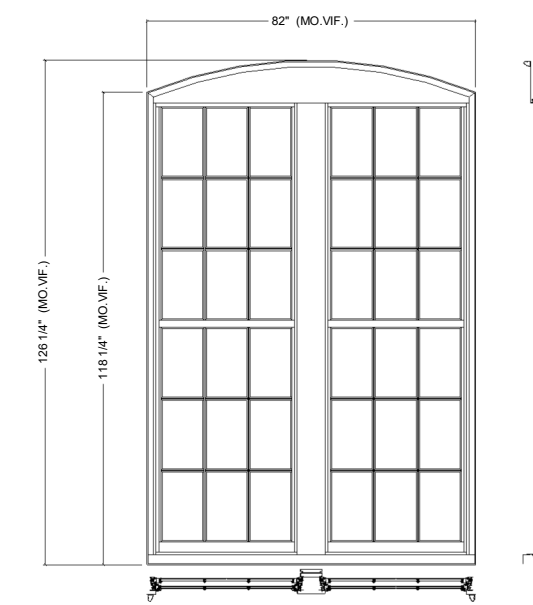
② Elevation 1 - a
1/4" = 1'-0"



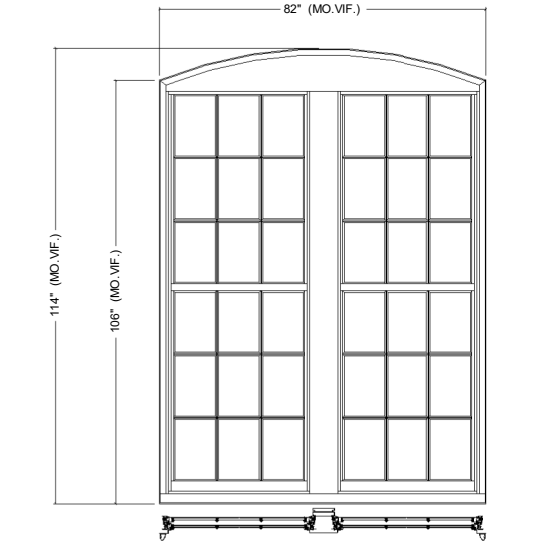
Ⓐ



Ⓑ

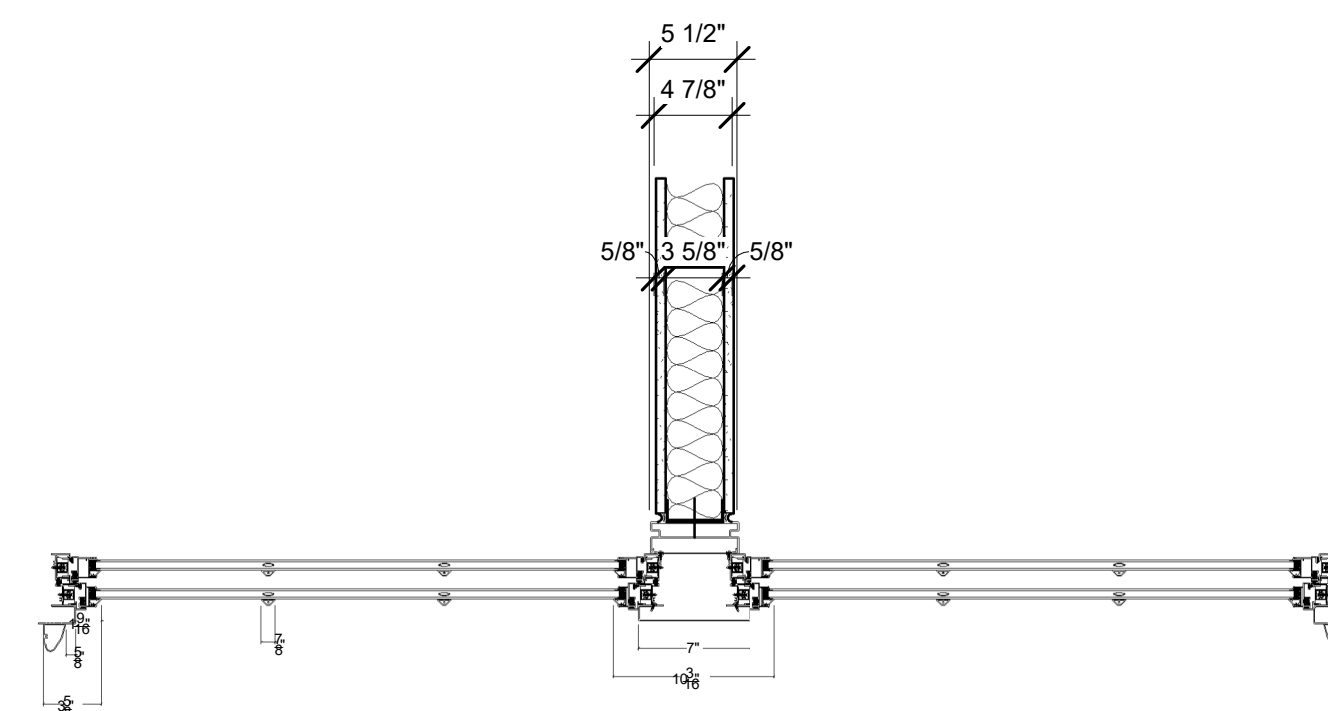


Ⓒ

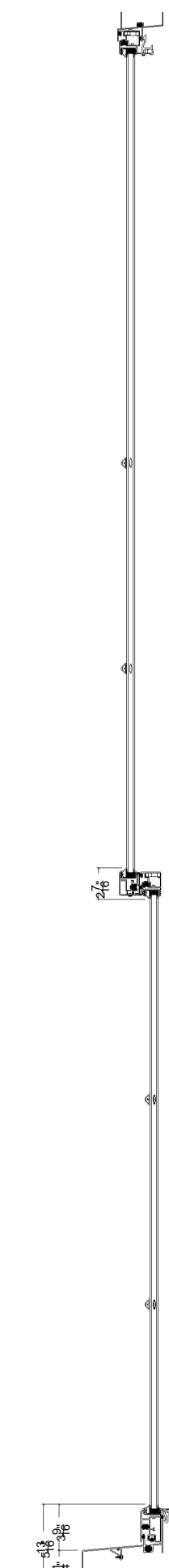


Ⓓ

① WINDOW ELEVATIONS
1/4" = 1'-0"



⑤ WINDOW SECTION @ WALL
INTERSECTION
1" = 1'-0"



CIVICO

98 BEACON
98 BEACON STREET
WORCESTER MA

No.	Date	Description

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PROJECT	Project Number
DRAWN	Author
CHECKED BY	Checker
DATE	1.21.2020
SCALE	As indicated

WINDOW/DOOR SCH.

A-600-SCH

Project Status