PROPOSED SITE PLAN DOCUMENTS

_____ FOR _____

98 BEACON STREET LLC
PROPOSED

REDEVELOPMENT

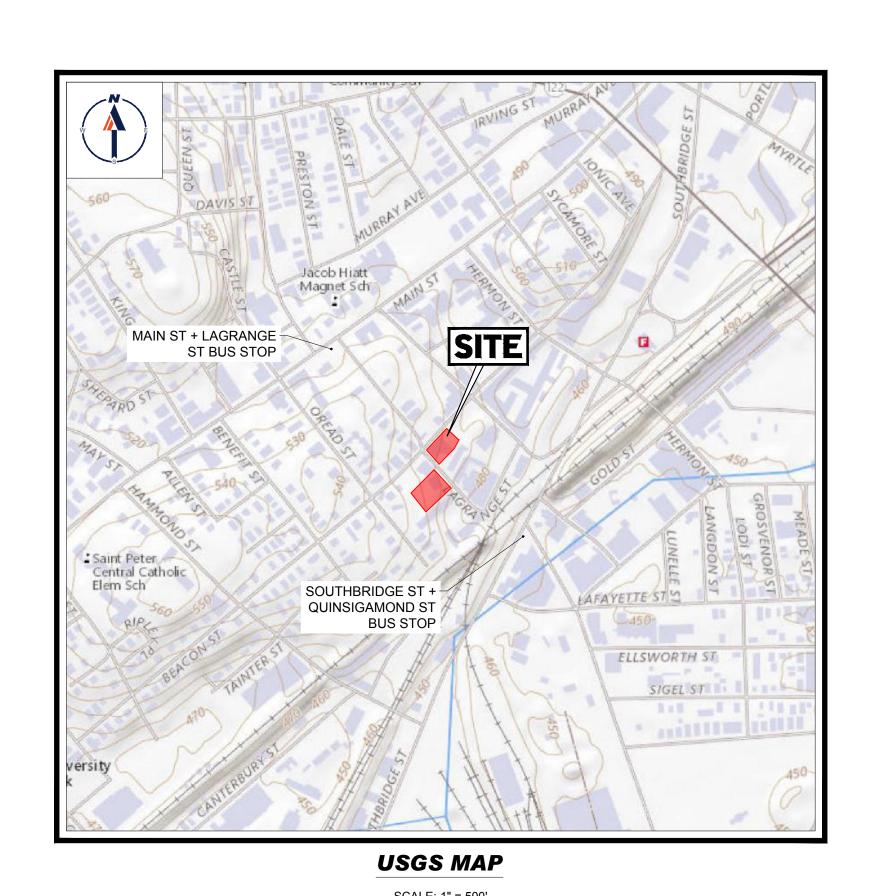
LOCATION OF SITE:

98 BEACON STREET, CITY OF WORCESTER

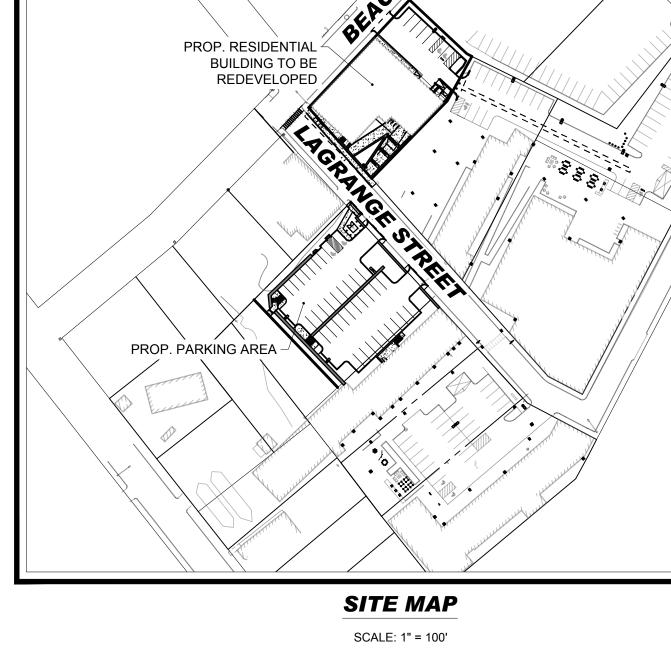
WORCESTER COUNTY, MASSACHUSETTS

MAP 3, LOTS 1A & 8

MAP 6, LOTS 4B & 19



SOURCE: USGS



PREPARED BY

BOHLER//

REFERENCES

BOUNDARY & TOPOGRAPHIC SURVEY: CCONTROL POINT ASSOCIATES 352 TURNPIKE ROAD, SOUTHBOROUGH, MA 01772 DATE: 11/16/2021

DRAWING SHEET INDEX

SHEET TITLE

COVER SHEET

GENERAL NOTES SHEET

SITE LAYOUT & LANDSCAPE PLAN

LANDSCAPE NOTES AND DETAILS

BOUNDARY & TOPOGRAPHIC SURVEY

EROSION AND SEDIMENT CONTROL PLAN

GRADING & DRAINAGE PLAN

DEMOLITION PLAN

LANDSCAPE PLAN

LIGHTING PLAN

DETAIL SHEET

DETAIL SHEET

DETAIL SHEET

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

REV	DATE	COMMENT	DRAW
1	4/28/2023	ZBA COMMENTS	OC
'	4/20/2023	ZBA GOMMENTO	MM
2	2/15/2024	PLANNING BOARD	OC
		SUBMISSION	MM

REVISIONS



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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MAA220072.0 DRAWN BY: OCR / CS CHECKED BY: MM.
DATE: 03/03/202
CAD I.D.: MAA220072.00-SPPD-2.

PROJECT:

SHEET

NUMBER

C-101

C-301

C-401

C-501

C-602

C-702

C-901

C-902

C-903

3 SHEETS

PROPOSED SITE PLAN DOCUMENTS

—— FOR ——

98 BEACON STREET LLC

PROPOSED

DEVELOPMENT

MAP: 3 LOT: 1A & 8

BEACON STREET,

CITY OF WORCESTER,

WORCESTER COUNTY

BOHLER

352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900

MASSACHUSETTS

www.BohlerEngineering.com



QUEET TITLE

COVER SHEET

SHEET NUMBER:

C-101

REVISION 2 - 2/15/2024

THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS, ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST DITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO 4.2. CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL AND ALL APPLICABLE REQUIREMENTS RULES REGULATIONS STATUTORY REQUIREMENTS CODES LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS. WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER, IN WRITING. OF ANY CONFLICTS. DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.

CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS

THE CONTRACTOR MUST FIFLD VERIEY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER. THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

THE CONTRACTOR MUST VERIEV ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWING DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS.

THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS: AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS MUST TAKE PRECEDENCE UNLESS. SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.

ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER. HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST

REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALI

APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN. AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES. PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE, ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DERRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS

THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO

AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. 8. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE

PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE. BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING

CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST

RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE STRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. TH CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING. THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION OR ANYTHING RELATED TO SAME THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE

ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIMI THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE FNGINFER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES. COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM

OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS.

THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS RULES STATUTES CODES AND THE LIKE THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES, CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME

ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE. EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL UMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED. WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES, CLAIMS, ACTIONS PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR OSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THI PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT, THE CONTRACTOR MUST NOTIFY ENGINEER. IN WRITING. AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION. SUSPENSION OR CHANGE OF ITS INSURANCE

THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED 25. WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR COMBINATION THEREOF IT IS SHOWN ADJACENT TO THESE ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE.

WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER. BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES. AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT, BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION 30HLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND. INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME

AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY.

OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN. FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES. ARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE

FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME

THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH SDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.

THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLLITION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION CTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING

BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER. THE LISE OF THE WORDS 'CERTIFY OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

GENERAL DEMOLITION NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES 1 ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTEREFRENCE WITH ROADS. STREETS

SIDEWALKS. WALKWAYS. AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE /ERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WA 3. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY. THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND

GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS.

THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN 4.1. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE FEDERAL LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL

OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC

THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT. SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE

CONTRACTOR'S SOLE EXPENSE. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.

. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY. WHICH MUST INCLUDE. BUT IS NOT LIMITED TO. THE INSTALLATION AND MAINTENANCE OF BARRIERS FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND INSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT

THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTION CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD

THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED. REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE RISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND

SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: 10.1. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION

ROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS 10.4. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE,

CARLE FIRER OPTIC CARLE FTC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND

UTILITY COMPANY REQUIREMENTS 10.8. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. 10.9. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL. THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND

SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS ITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR

12. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN MISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION

PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM. OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT, BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITI DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AN

4 EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE NECESSARY AND REQUIRED OVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL STATE AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.

5. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST

6. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED. INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST.

S. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL STATE. COUNTY AND LOCAL REQUIREMENTS. PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING. CLEANING AND REMOVAL

19 THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE LITHLITY AND/OR SERVICE SYSTEMS THAT ARE

TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE. 20. CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED. DIG EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND DEPTH OF UTILITIES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS AS NEEDED TO COORDINATE FINAL LOCATION OF ALL PROPOSED

CONTRACTOR SHALL INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS RE-USE TO VERIEY SUITABILITY FOR SAME, IF STRUCTURES CAN NOT BE REUSED THEN THE CONTRACTOR SHALL PROVIDE A NEW STRUCTURE. THE CONTRACTOR SHALL COORDINATE SUCH WORK WITH THE APPLICABLE UTILITY PROVIDER.

22. CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS, DELETERIOUS MATERIALS, AND/OR DEBRIS THAT IMPEDE THE 23. THE CONTRACTOR SHALL REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES. UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM

ACCURACY OF SAME AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR SHALL CARRY COSTS FOR REMOVAL OF ANY EXISTING STRUCTURES, APPURTENANCES, AND UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC 24. THE CONTRACTOR SHALL MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTAL

FEATURES FOR GRAPHICAL CLARITY

26. EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT DAMAGE AND SELECTIVE PRUNING MAY BE REQUIRED TO ENSURE THAT TREES DO NOT CONFLICT WITH THE 7. CONTRACTOR SHALL REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED DURING CONSTRUCTION WITHIN EXISTING OR PROPOSED RIGHTS OF

WAYS, ANY SUCH WORK SHALL BE PERFORMED BY A LICENSED / DOT APPROVED SIGNAL CONTRACTOR, ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT SHALL BE REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR SHALL BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES 28. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO

DETERMINE THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION. 29. CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO BE TERMINATED IN ACCORDANCE WITH MUNICIPAL / STATE TRANSPORTATION DEPARTMENT REQUIREMENTS

GENERAL SITE NOTES

JURISDICTION OVER THE PROJECT

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION

PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH

APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE

THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, 3. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY

RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH

ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB. EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE. WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION, LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING

ALL CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF JURISDICTIONAL STANDARD PSI AT 28 DAYS (OR 4,000 PSI) UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT. THE CONTRACTOR MUST FILE SITE SIGNAGE APPLICATION OR PERMIT UNDER SEPARATE APPLICATION UNLESS DONE SO AS PART OF JURISDICTIONAL PERMITTING

THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, PAVEMENT MARKINGS, AND PAVEMENT AMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT.

10. WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF

PUBLIC WORKS ENGINEERING DEPARTMENT HIGHWAY DIVISION AND/OR STATE DOT HIGHWAY DEPARTMENT

WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL, 21.5. CONTRACTOR SHALL VERIFY THE CONNECTION OF EXTERIOR PIPING TO ANY FIXTURES (SUCH AS AN EXTERIOR GREASE INTERCEPTOR) OR OTHER DRAINAGE RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION, REFER TO GRADING NOTES REGARDING RETAINING WALL

12. CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS. CONTRACTOR SHALL PROVIDE FIELD 23. GAS METERS MUST BE PROTECTED AS REQUIRED BY THE JURISDICTIONAL GAS PROVIDER. MODIFICATION LOCATIONS OF BOLLARDS AND BOLLARDS WITH SIGNAGE AS NEEDED TO AVOID CONFLICTS WITH EXISTING UTILITY SERVICES TO REMAIN

GENERAL GRADING NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES 1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET, IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER 3 PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT.

THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING 3.2 THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY ONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE

GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE, MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER. REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN FEFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS, SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS, EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO. EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND NTROLS. THE CONTRACTOR MUST ÍMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL

EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED. THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES, 1.5% ON ASPHALT SURFACES, 1.5% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL

IN WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS TOP AND BOTTOM OF WALL FLEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE TOP AND BOTTOM OF THE WALL AND DO NOT REPRESENT THE FLEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING) ALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER. AND MÚST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT THERE ARE NO LITH ITIES ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY SE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE TANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES, ORDINANCES, LAWS AND STATUTES.

11. MSE OR GRAVITY BLOCK WALLS SHALL BE CONSTRUCTED SUCH THAT UPON COMPLETION OF CONSTRUCTION THERE IS NO UNFINISHED SURFACE OR LIFTING RINGS VISIBLE (E.G. USE OF FINISHED TOP BLOCK OR CAP STONES)

12. STORMWATER RUNOFF WITHIN PROPERTY MUST BE COLLECTED ON-SITE WITH NO OVERLAND RUNOFF ONTO THE RIGHT-OF-WAY OR ADJACENT PROPERTIES TO THE MAXIMUM EXTENT POSSIBLE OR IN THE MANNER SHOWN ON THE CONSTRUCTION DRAWINGS. STORMWATER RUNOFF ONTO ADJACENT PROPERTIES SHALL BE CONTROLLED AS TO NOT ADVERSLY IMPACT SAID PROPERTIES.

13. BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR TRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD.

14. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL ADA GUIDELINES AND REQUIREMENTS

ISLANDS, GUTTERS, AND CURBS TO PROVIDE POSITIVE DRAINAGE.

15 FOR ALL RETAINING WALLS (CT USE 3 ALL OTHER OFFICES USE 4) FEET OR GREATER IN HEIGHT 15.1. THE OWNER OR THE OWNER'S CONTRACTOR IS TO PROVIDE A SITE-SPECIFIC RETAINING WALL DESIGN PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED (E.G. STRUCTURAL ENGINEER) IN THE STATE WHERE THE CONSTRUCTION OCCURS. SOIL TYPES, WATER TABLE ELEVATION, EXISTING & PROPOSED

SURROUNDING IMPROVEMENTS/CONDITIONS (INCLUDING BUT NOT LIMITED TO SLOPES, DRIVE AISLES, ROADS, FENCING, GUIDERAILS, UTILITIES, DRAINAGE FACILITIES, STRUCTURES, FOUNDATIONS), LIVE LOADS AND OTHER SITE AMENITIES THAT COULD HAVE AN INFLUENCE OR IMPACT ON THE RETAINING WALL(S CONSTRUCTABILITY AND/OR LONGEVITY SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN AS WELL AS THE GLOBAL STABILITY PEER REVIEW AND GLOBAL STABILITY ANALYSIS OF THE RETAINING WALL DESIGN MUST BE COMPLETED BY THE OWNER'S GEOTECHNICAL ENGINEER TO

ABOVE SHALL BE FIELD CONFIRMED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO WALL CONSTRUCTION. 16. CONTRACTOR SHALL INSTALL CONCRETE CURB ALONG FACE OF BUILDING / WALL AS SHOWN TO PROVIDE CONSISTENT WIDTH ALONG LENGTH OF PROPOSED ACCESSIBLE RAMP AND RAMP LANDING TO MEET ADA/AAB REQUIREMENTS

CERTIFY THE DESIGN MEETS INDUSTRY STANDARDS FOR FACTOR OF SAFETY. SOIL TYPES, WATER TABLE ELEVATION AND DESIGN PROPERTIES AS NOTED

7. CONTRACTOR SHALL REVIEW RETAINING WALL LOCATIONS VERSUS APPLICABLE STATE AND LOCAL CODES AND PROVIDE FALL PROTECTION (E.G. FENCING OR RAILING) IN ACCORDANCE WITH SAID CODE. 18. CONTRACTOR SHALL COORDINATE WITH OWNER/OPERATOR TO REVIEW EXISTING DEPRESSIONS WITHIN EXISTING PAVEMENT AREAS TO REMAIN AND SHALL

CONFIRM THAT THE SCOPE OF WORK SHALL PROVIDE POSITIVE DRAINAGE BY FIXING ANY EXISTING AREAS OF PONDING.

19. BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR STRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD.

GENERAL DRAINAGE & UTILITY NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES. | BLDG ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIEY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST NDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS IN WRITING, TO THE ENGINEER OF RECORD. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE

UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION,

AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY

EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. 4. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY

REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS. OR WHERE ARCHITECTURAL PLAN UTILITY NNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST ALL FILL COMPACTION AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE DECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS. FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. ENGINEER OF

RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES. THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.

RE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME. 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY

THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS,

REGARDLESS OF WHAT THIS PLAN DEPICTS. . WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY, THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION

. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES I'H NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. 13. THE CONTRACTOR'S PRICE FOR WATER AND SEWER SERVICE INSTALLATIONS MUST INCLUDE ALL FEES, COSTS, AND APPURTENANCES REQUIRED BY THE UTILITY R.O.W. PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK) TO PROVIDE FULL AND COMPLETE WORKING SERVICE, INCLUDING (BUT NOT LIMITED

TO) NECESSARY FEES, TESTING, DISINFECTING, INSPECTIONS, ROAD OPENING & BACKFILL REQUIREMENTS, TRAFFIC CONTROL AND SURETY BONDS AS DEFINED

14. ALL WORK ASSOCIATED WITH UTILITY POLES, OVERHEAD WIRES AND ANY/ALL APPURTENANCES SHALL BE COORDINATED BY THE GC WITH THE LOCAL UTILITY COMPANIES PRIOR TO THE ORDERING OF ANY MATERIALS. THIS MAY INCLUDE BUT IS NOT LIMITED TO THE REMOVAL, INSTALLATION, RELOCATION OR PROTECTION L OF ANY BRACING, GUY WIRES, OVERHEAD WIRES, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE PROJECT

15. SEWERS CONVEYING SANITARY FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY, IF SUCH LATERAL SEPARATION IS NOT POSSIBLE. THE PIPES MUST, AT A MINIMUM, BE IN SEPARATE TRENCHES WITH THE AT LEAST 18 INCHES OF VERTICAL ARATION FROM THE BOTTOM OF THE WATER MAIN TO THE TOP OF THE SEWER LINE. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NO POSSIBLE. THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF TBR/R AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SANITARY SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SANITARY SEWER MUST BE PROVIDED. ALL CROSSINGS SHALL BE IN ACCORDANCE WITH JURISDICTIONAL PERMITTING/UTILITY AUTHORITIES REGULATIONS

16. WHEN THESE PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL UTILITY SERVICES, INCLUDING BUT NOT LIMITED TO STORM, SANITARY, UTILITIES, AND IRRIGATION LINES, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. THE CONTRACTOR MUST CAP ENDS OF INSTALLED LITHLITIES AS APPROPRIATE. MARK LITHLITY ENDS WITH MAGENTIC TRACER. TYP TAPE. MARK TERMINOUS LOCATIONS WITH A 2X4 STAKE. AND MUST NOTE THE LOCATION OF ALL UTILITY STUBS ON A CLEAN COPY OF THE PLAN. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL

17. STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS

18. UNLESS INDICATED OTHERWISE, ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC., MUST BE INSTALLED UNDERGROUND. ALL NEW FILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS I. SANITARY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE. SANITARY LATERAL(S) MUST BE PVC SDR 26 UNLESS CLEARLY INDICATED OTHERWISE.

20. UNLESS CLEARLY INDICATED OTHERWISE, ALL STORM PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT/SOIL TIGHT JOINTS, WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M294 FOR PIPES 12" TO 60" AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT/SOIL TIGHT JOINT. PIPE FOR ROOF DRAIN CONNECTION MUST BE HDPE SDR 26 OR PVC SCHEDULE 40 UNLESS INDICATED OTHERWISE. HDPE PIPE JOINT GASKETS MUST BE PROVIDED AND CONFORM TO ASTM F477 DRAIN PIPE INSTALLED WITH OVER TEN (10) FEET OVER COVER AND/OR IN HIGH GROUNDWATER CONDITIONS SHALL BE SANITITE HP POLYPROPOPYLENE PIPE (PP), OR APPROVED EQUIVALENT.

21. UNLESS CLEARLY INDICATED OTHERWISE ALL SANITARY PIPE MUST BE: 21.1. FOR PIPES LESS THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034 21.2. FOR PIPES GREATER THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034

BY THE PROVIDER (AND OTHER AGENCIES HAVING JURISDICTION OVER THE WORK).

UNLESS LOCAL OR STATE BUILDING / PLUMBING CODE CLEARLY SPECIFIES DIFFERENTLY, SANITARY LATERALS MUST BE PVC SDR 26 21.4. FOR ALL UTILITY PIPING (INCLUDING DRAIN) WITHIN 10 FT OF A BUILDING. PIPE MATERIAL SHALL COMPLY WITH APPLICABLE LOCAL OR STATE BLILL DING AND PLUMBING CODES, CONTRACTOR SHALL REFER TO PLUMBING ENGINEERING PLANS AND VERIFY PIPE MATERIAL WITH LOCAL OFFICIAL PRIOR TO ORDERING

22. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

SYSTEMS WITH LOCAL OFFICIALS FOR COMPLIANCE WITH APPLICABLE LOCAL OR STATE BUILDING AND PLUMBING CODES PRIOR TO ORDERING OF MATERIALS

ADA INSTRUCTIONS TO CONTRACTOR:

CODE PRIOR TO COMMENCING CONSTRUCTION.

ABBREVIATIONS

AG / ABVG | ABOVE GROUND

TOP OF CURB

TOP OF WALL

TRANSITION

VERIFY IN FIFI D

UG / UNDG UNDERGROUNI

TREE PROTECTION FENCE

VERTICAL GRANITE CURB

WATER

REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED. HE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES

THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY LINORSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER IHAN 1:20 (5.0%), ÁN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL

CHANGES OVER 1/4-INCH ARE PERMITTED. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES, LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION

RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES, HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE.

LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO I ANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET

LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI

A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE). WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES. THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTO MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. IHE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR

IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING

IN ADDITION TO THE ABOVE, THE CONTRACTOR MUST ALSO ENSURE THAT ALL ACCESSIBLE COMPONENTS AND ACCESSIBLE ROUTES ARE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS 521 CMR. THE CONTRACTOR MUST IMMEDIATELY NOTIFY TH ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES BETWEEN THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE AND STATE BUILDING CODE AS IT RELATES TO ANY ACCESSIBLE IMPROVEMENTS BEING CONSTRUCTED PRIOR TO COMMENCING THE WORK.

TYPICAL LINE TYPE LEGEND

	PROPERTYLINE	EXISTING			
DESCRIPTION	PROPERTY LINE	PROPOSED			
B ABOVE GROUND	ADJACENT PROPERTY	EXISTING	-		
ARCHITECT	LINE	PROPOSED			
BACK OF CURB	DIGUE OF WAYANE	EXISTING			
BITUMINOUS CONCRETE CURB	RIGHT-OF-WAY LINE	PROPOSED			
BENCHMARK	OFTE A OLY OF BUILTIE	EXISTING			
BOTTOM OF CURB	SETBACK OR BUFFER	PROPOSED			
		EXISTING			
BOTTOM OF WALL BUILDING	EASEMENT LINE	PROPOSED			
CONCRETE CURB	WET AND DOUNDARY	EXISTING			
CAPE COD BERM	WETLAND BOUNDARY	PROPOSED			
CONCRETE		EXISTING			
DECORATIVE	WETLAND BUFFER	PROPOSED			
DEGREE	WATER WAY BOUNDARY	EXISTING			
DEPRESSED	WATER WAY BOUNDARY	PROPOSED			
DIAMETER		EXISTING			
DRAIN MANHOLE	WATERWAY BUFFER	PROPOSED			
	WETLAND OR WATERWAY	EV4071110	_		^
DUCTILE IRON PIPE	FLAG	EXISTING	 	:	
EXTRUDED CONCRETE CURB	RIGHT-OF-WAY CENTER	EXISTING			
EDGE OF PAVEMENT	OR BASE LINE	PROPOSED			
ELEVATION	APPROX. LIMIT OF WORK	EXISTING			
EXISTING	OR DISTURBANCE	PROPOSED			
FINISH FLOOR		EXISTING			
FINISH FLOOR ELEVATION	APPROX. SAWCUT LINE	PROPOSED			
GENERAL CONTRACTOR		EXISTING	~~~~		
GRATE	TREE LINE	PROPOSED			
HIGH DENSITY POLYETHYLENE PIPE	SURFACE OR	EXISTING			
HIGH POINT	SUBSURFACE BASIN	PROPOSED			
INTERSECTION		EXISTING		DH	OH
INVERT	OVERHEAD WIRES	PROPOSED	——— OH—	— OH—	—— OH——
LANDSCAPE AREA		EXISTING			
LIMIT OF DISTURBANCE	CURBING	PROPOSED			
LIMIT OF WORK			CC/BCC MONOLITHIC	VGC SGC	TRANS/FLUSH C
LINEAR FOOT / FEET	FENCE OR RAILING	EXISTING			
LOW POINT		PROPOSED	CHAIN LINK	STOCKADE	RAILING
MAXIMUM	RETAINING WALL	EXISTING			
MECHANICAL, ELECTRICAL, PLUMBING	INETAINING WALL	PROPOSED			X
MEET OR MATCH EXISTING	CONTOURS	EXISTING			
MINIMUM	CONTOUNS	PROPOSED	49		50
NUMBER	SWALE	EXISTING			
PLUS OR MINUS	OW/LE	PROPOSED	<u></u> → → →	\longrightarrow	\rightarrow
POINT OF CURVATURE	BERM	EXISTING			
POINT OF INTERSECTION		PROPOSED			
POINT OF TANGENCY	RIDGE	EXISTING			
POINT OF VERTICAL INTERSECTION	NIDGE	PROPOSED			
POLYVINYL CHLORIDE PIPE	DRAIN PIPE	EXISTING	= = = =	= = =	D-Qa
PROPOSED	DIVAINTIL	PROPOSED			
RADIUS OR RADII	SEWER PIPE	EXISTING	— S——— S	·	S-Qa
REINFORCED CONCRETE PIPE	SEWERFIFE	PROPOSED	s_		——SL———
NEINI ONCED CONCRETE I II E		EXISTING	FMFN	V	TM-Qa
RIGHT-OF-WAY	SEWED EODGE MAIN		FM	—— FM——	—— FM———
RIGHT-OF-WAY SANITARY	SEWER FORCE MAIN	PROPOSED		I IVI	
SANITARY		PROPOSED EXISTING	— E——— E		E-Qa-
SANITARY SEWER MANHOLE	SEWER FORCE MAIN ELECTRIC		_		
SANITARY SEWER MANHOLE SLOPE	ELECTRIC	EXISTING	— E——— E		E-Qa-
SANITARY SEWER MANHOLE SLOPE SQUARE FOOT		EXISTING PROPOSED	— E—— E		E-QaE
SANITARY SEWER MANHOLE SLOPE SQUARE FOOT SLOPED GRANITE CURB	ELECTRIC TELECOMMUNICATIONS	EXISTING PROPOSED EXISTING	— E—— E—— — T	——————————————————————————————————————	E-Qa — E-
SANITARY SEWER MANHOLE SLOPE SQUARE FOOT SLOPED GRANITE CURB STATION	ELECTRIC	EXISTING PROPOSED EXISTING PROPOSED	— E—— E — — T—— T	——————————————————————————————————————	E-Qa — E- T-Qa — T-
SANITARY SEWER MANHOLE SLOPE SQUARE FOOT SLOPED GRANITE CURB STATION STORM	ELECTRIC TELECOMMUNICATIONS CABLE TV	EXISTING PROPOSED EXISTING PROPOSED EXISTING		- E	F-Qa — E — T-Qa — T — T-Qa — T — T — T — T — T — T — T — T — T —
SANITARY SEWER MANHOLE SLOPE SQUARE FOOT SLOPED GRANITE CURB STATION	ELECTRIC TELECOMMUNICATIONS	EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED		- E	E-Qa — E- T-Qa — T — C-Qa — C

REFER TO SITE LAYOUT PLAN FOR **ZONING ANALYSIS TABLE AND LAND USE | ZONING INFORMATION & NOTES**

PROPOSED

REFER TO EROSION AND SEDIMENT **CONTROL NOTES & DETAILS SHEET** FOR TYPICAL EROSION NOTES AND **DETAILS**

REFER TO LANDSCAPE NOTES & **DETAILS SHEET FOR TYPICAL** LANDSCAPE NOTES AND DETAILS

REFER TO LIGHTING PLAN FOR TYPICAL LIGHTING NOTES AND **TABLES**

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MAA220072.00-SPPD-

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

98 BEACON

STREET LLC

PROPOSED

MASSACHUSETTS

DEVELOPMENT MAP: 3 LOT: 1A & 8 **BEACON STREET.** CITY OF WORCESTER WORCESTER COUNTY

352 TURNPIKE ROAD **SOUTHBOROUGH, MA 01772**

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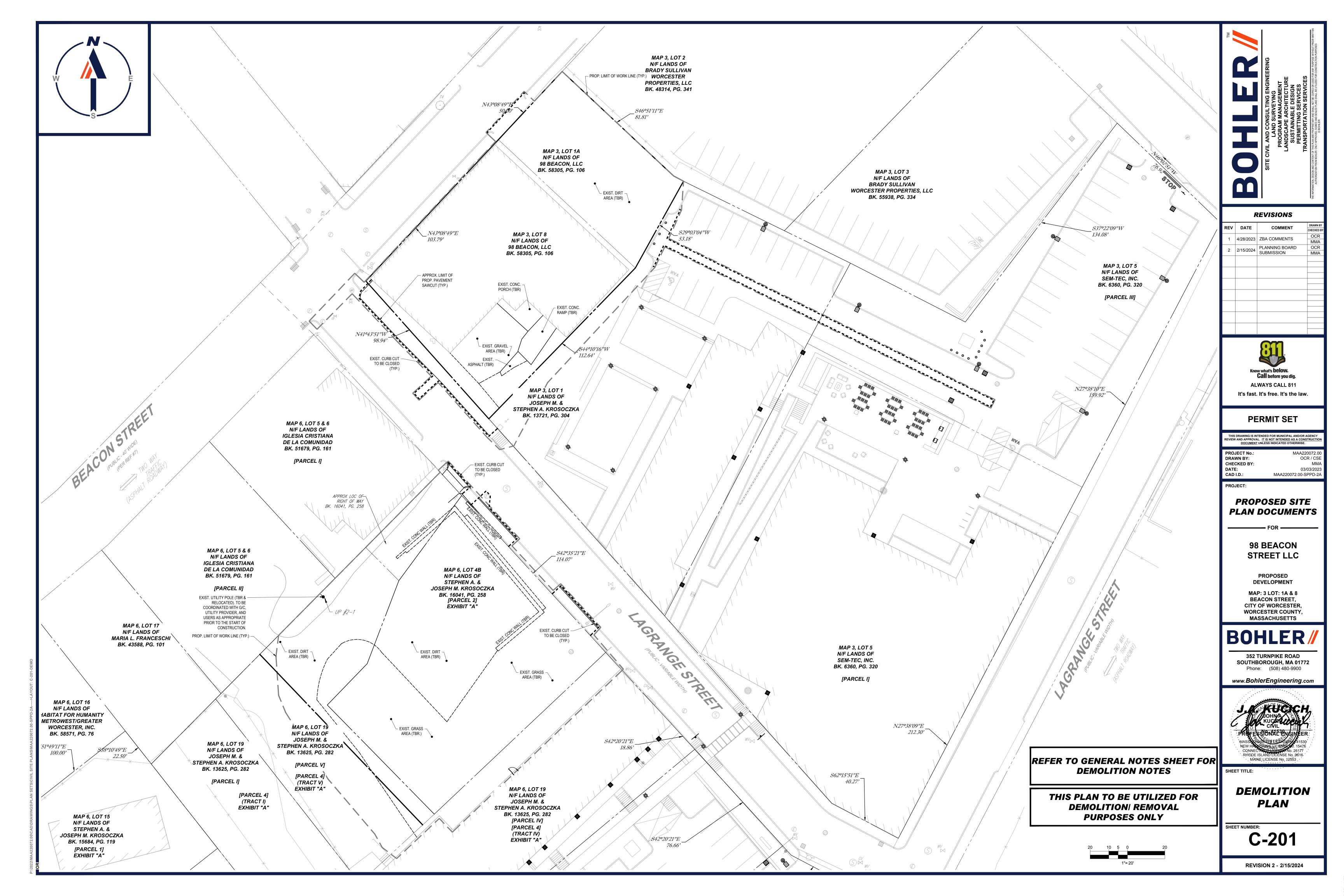


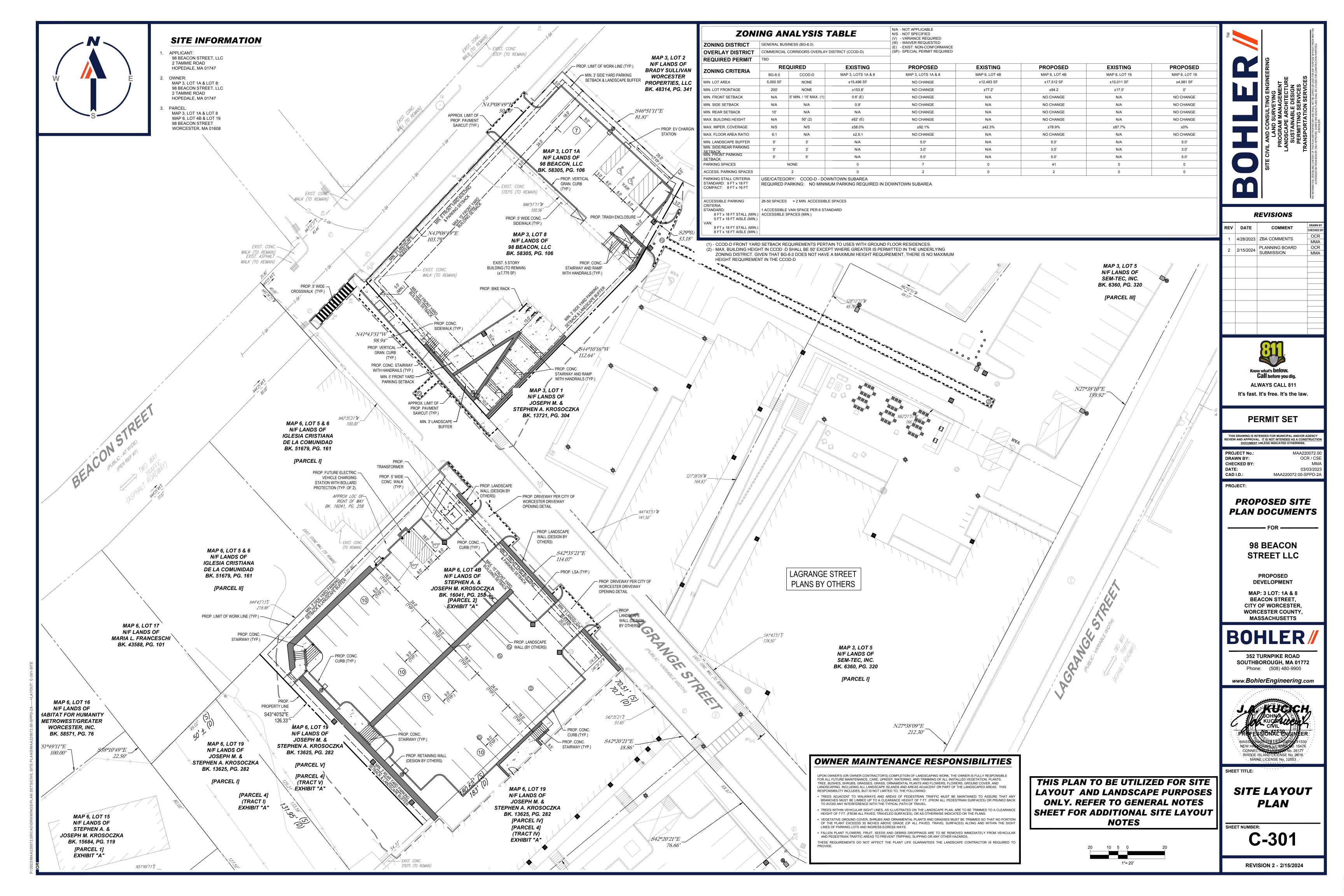
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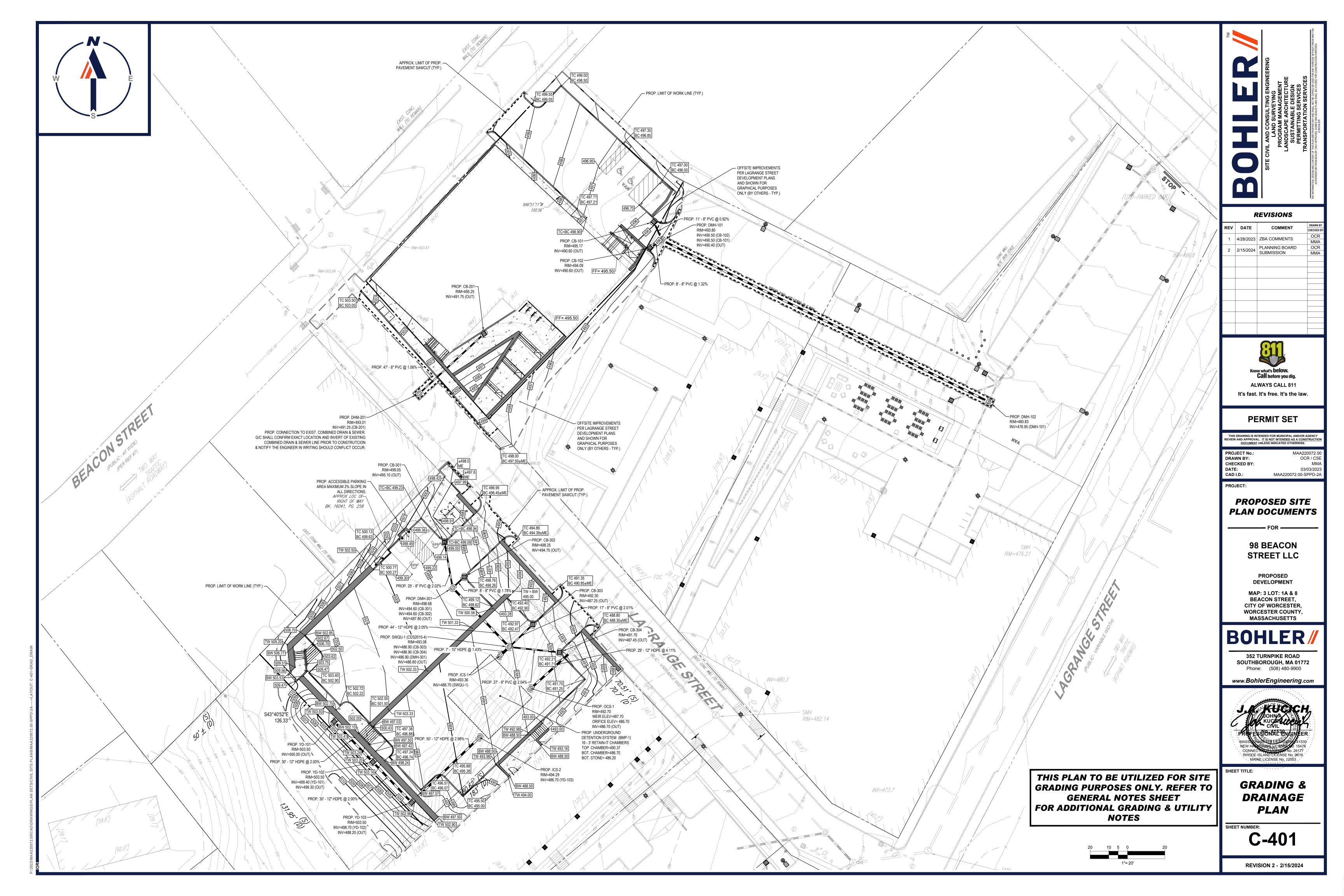
GENERAL **NOTES** SHEET

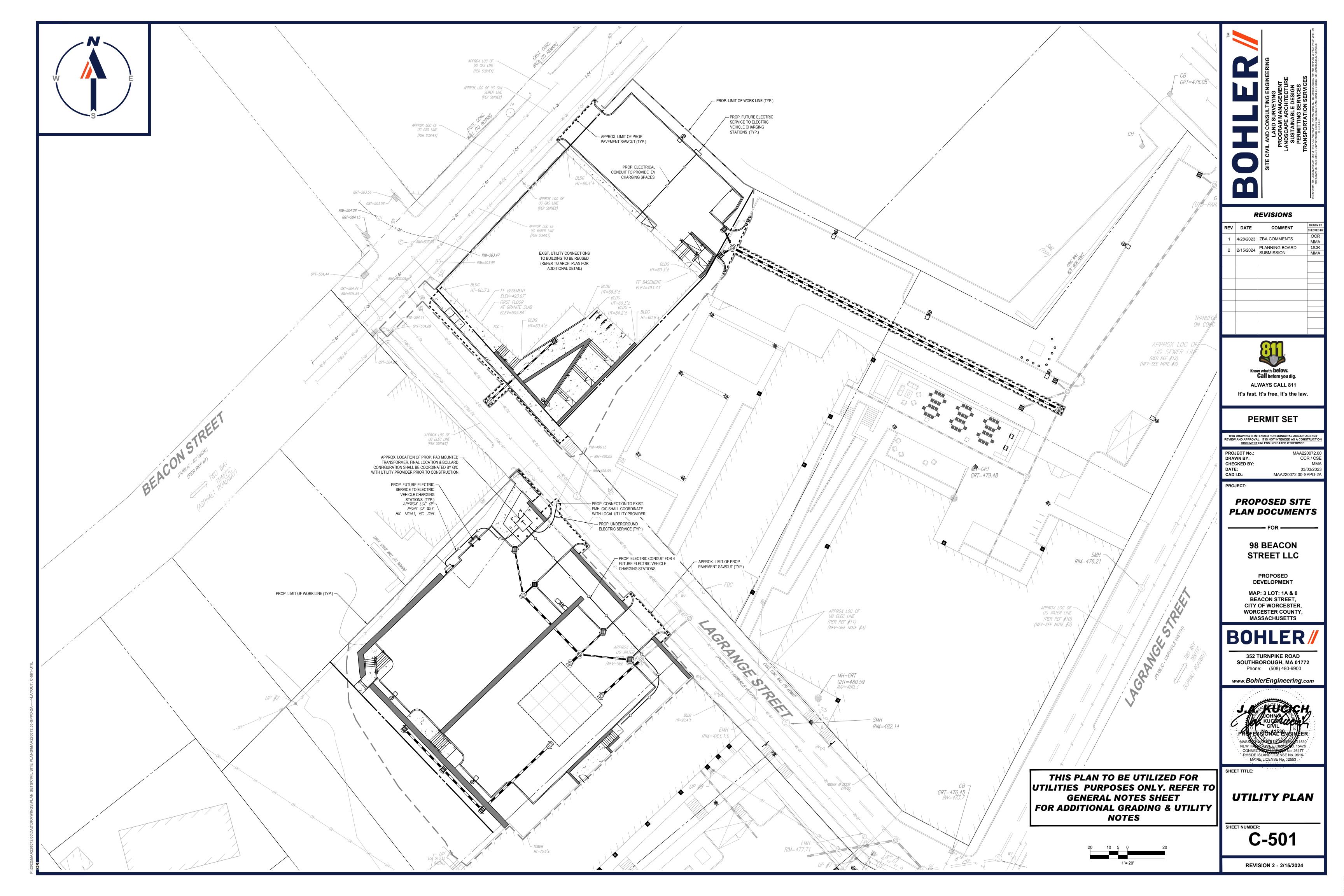
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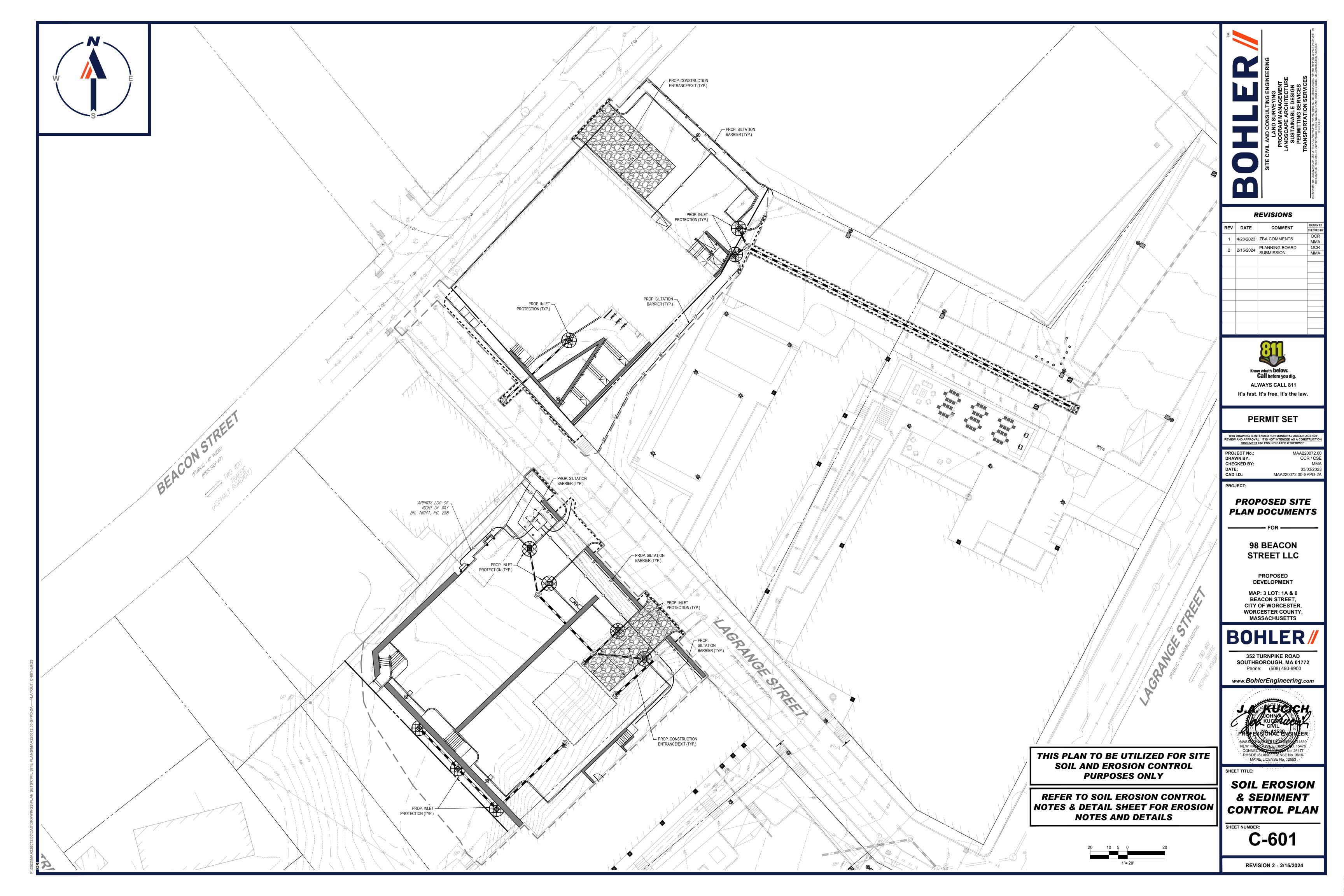
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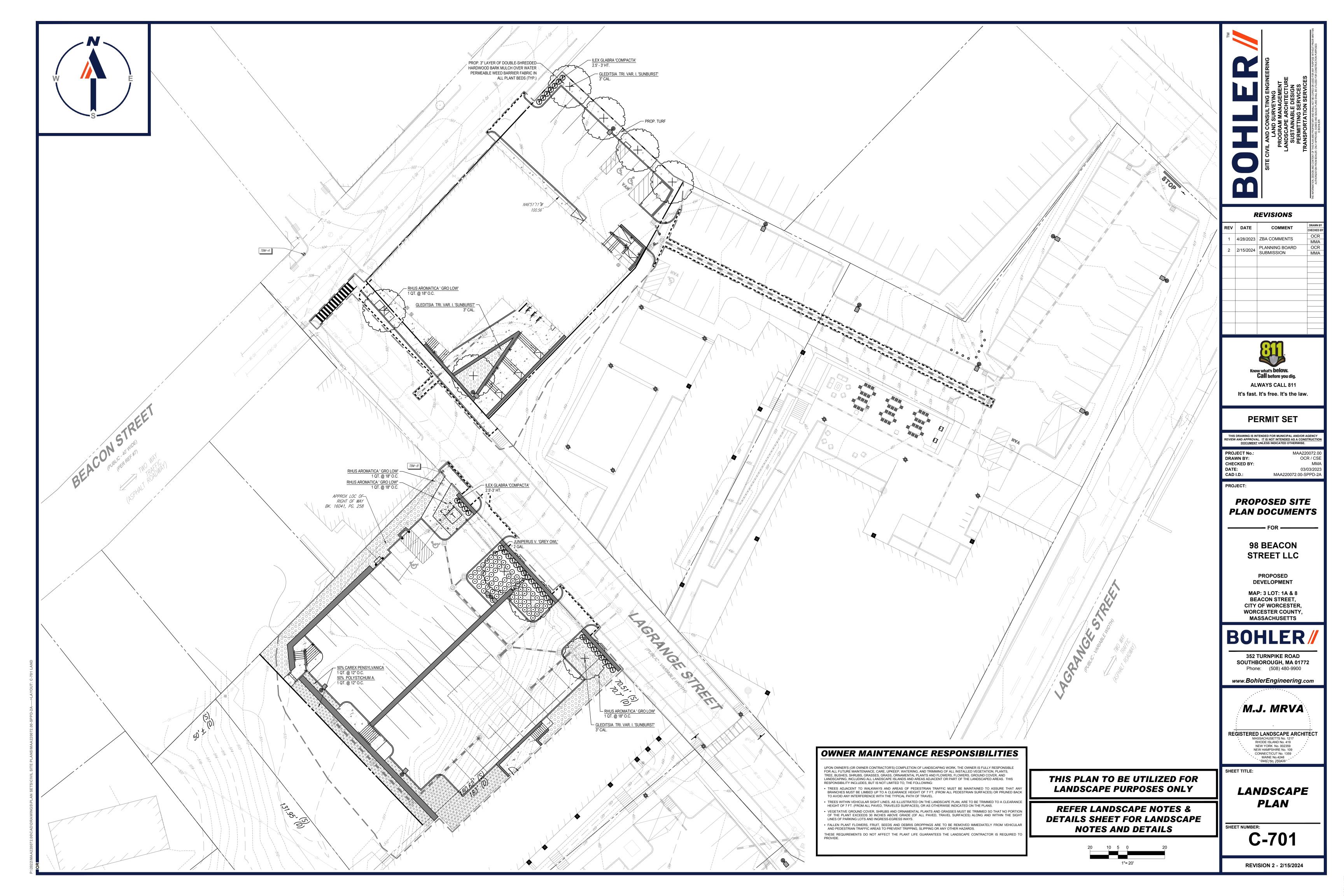








GENERAL EROSION AND SEDIMENT CONTROL NOTES EROSION AND SEDIMENT CONTROL NOTES THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERA ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE **EROSION CONTROL MANUAL.** THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED: CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A 2 FROSION CONTROL MEASURES MUST CONFORM TO THE STATE LOCAL AND FEDERAL GUIDELINES FOR URBAN FROSION AND SEDIMENT CONTROL -INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN) MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. UNI ESS OTHERWISE NOTED OR UNI ESS ENGINEER CLEARLY AND SPECIFICALLY. IN WRITING, DIRECTS OTHERWISE, INSTALLATION OF EROSION AREA OF SITE CONSTRUCTION AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES. -INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN) POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY XX.XXX ACRES. DAYS OF FINAL GRADING AND TEMPORARILY STARILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE -INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN) DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY 4. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE: STORM EVENT (THIS WOULD INCLUDE WETLANDS). -DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN) 4.1. STABILIZED CONSTRUCTION ENTRANCE/ EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED AREA WITHIN PROTECTION ZONE/TREE DRIP LINE LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE FENCE TO FOLLOW TREE DROP LINE OR 6' FROM -DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN) 4.2. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES TRUNK. WHICHEVER IS GREATER 4.3. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALL I FO TO REDUCE THE -CLEARING AND GRUBBING QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE. WHICH MAY BE BEYOND THE LIMIT INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER -INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS INSTALLATION, SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5. 5. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS. -4' WOOD & WIRE SNOW FENCE WITH STEEL STAKE 18" O.C. -EARTHWORK AND EXCAVATION/FILLING AS NECESSARY ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY 6 THE CONTRACTOR MUST INSPECT FROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" OF FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION HALF THE OF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE -CONSTRUCTION OF UTILITIES OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE -STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULICH TO ALL DISTURBED AREAS THAT WILL NOT BE BROLIGHT TO FINISHED GRADE AND AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON. THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTIL. DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE -INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN) -WOOD & WIRE SNOW FENCE USED AS TREE GUARD TO FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES. AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS. PREVENT DAMAGE FROM CONSTRUCTION EQUIPMENT -CONSTRUCTION OF BUILDINGS THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTA NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER. -CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS TREE DRIP LINE/TREE PROTECTION ZONE THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY -SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS. MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT AREA WITHIN TREE PROTECTION ZONE TO -FINAL GRADING OF ALL SLOPED AREAS 10. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE REMAIN UNDISTURBED DURING CONSTRUCTION ESTABLISHMENT OF VEGETATION. -PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER MIXTURE TO BE INSTALLED AS REQUIRED. FIRST KILLING FROST TO PROTECT FROM SPRING RUNGEF PROBLEMS. REVISIONS -4' WOOD & WIRE SNOW FENCE WITH STEEL STAKES 18' O.C. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH -REMOVAL OF THE TEMPORARY SEDIMENT BASINS 12. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES. MEASURES AND LOCAL, STATE, AND FEDERAL STANDARDS. COMMENT REV DATE STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES -PAVE PARKING LOT AND STANDARDS AND/OR TO PREVENT ANY. INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED 4/28/2023 | ZBA COMMENTS 13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S -LANDSCAPING PER LANDSCAPING PLAN AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS: 10.1. SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS. 2/15/2024 SUBMISSION PLANNING BOARD -REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR **ELEVATION** SMOOTHED TO A UNIFORM SURFACE. 14. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION. 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES OR WHERE TIMING IS CRITICAL FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1.000 SE 15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF). 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED 16. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO FESCUE 5% REDTOP, AND 48% TALL FESCUE, THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURE MIXTURE OF 44% MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES. TREE PROTECTION DURING KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY RECOMMENDED CONSTRUCTION SEQUENCE SF LAWN, QUALITY SOD MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOD ON SLOPES STEEPER OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED. SITE CONSTRUCTION THAN 3.1 SHOULD BE PEGGED. N.T.S. 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN SEE CHART 1 R.O.W. 2 RE-BARS, STEEL PICKETS OR 2"x-PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS. 2" STAKE 1 1/2' TO 2' IN GROUND, EXISTING GROUND-DRIVE STAKES FLUSH WITH BALES WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION 1:3 MAXIMUM SLOPE-13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAY 14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES ANGLE FIRST STAKE TOWARDS PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED: PREVIOUSLY LAID BALE Call before you dig PROVIDE APPROPRIATE MULCH RATE (1000 SF 2-1/2" CLEAN STONE TRANSITION BETWEEN STABILIZED PROTECTED AREA 100 POUNDS **ALWAYS CALL 811** CONSTRUCTION ENTRANCE AND **PROFILE** SEE CHART 1PUBLIC R.O.W. WINDY AREA SHREDDED OR CHOPPED CORNSTALKS 185-275 POUNDS It's fast. It's free. It's the law. STRAW (ANCHORED)* 100 POUNDS BOUND BALES PLACED-ON CONTOUR MODERATE TO HIGH JUTE MESH OR EXCELSIOR MAT AS REQUIRED CONSTRUCT SILT FENCE AROUND PERIMETER OF STOCKPILE— VELOCITY AREAS OR STEEP SLOPES GREATER PERMIT SET THAN 3:1 DRAINAGE AREA NO MORE THAN $\frac{1}{4}$ AC. PER 100 FEEL OF STRAW BALE DIKE FOR SLOPES **GREATER THAN 3:1** (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT) TEMPORARY STOCKPILE THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC LESS THAN 25% VIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUC st A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHAL RIGHT OF DOCUMENT UNLESS INDICATED OTHERWISE —EXISTING BE USED TO ADDITIONAL WIND CONTROL PROJECT No.: WOOD OR PLASTIC SLAT STAPLED-MAA220072. 1. BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A * MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK): MULCH NETTING (AS PER MANUFACTURER): WOOD FABRIC THROUGH FABRIC TO POST DRAWN BY: OCR / CS ROW WITH FNDS TIGHTLY ABUTTING THE ADJACENT BALES CELLULOSE FIBER (750 LBS/ACRE): CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS): USE OF A SERRATED STRAIGHT **CHECKED BY** -FILTER DETAIL OF POST ATTACHMENT 2. EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL CAD I.D.: MAA220072.00-SPPD-2 EXCAVATE A 6"x6" TRENCH ALONG THE (PRE-ASSEMBLED PRIOR TO INSTALLATION 15 PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAF LINE OF EROSION CONTROL OF THE 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR DURING CONSTRUCTION.SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL. STATE. AND -SLAT PLAN VIEW PROJECT: RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE /—SILT FENCE (3' WIDE) UNROLL SILTATION FENCE AND POSITION DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES. 15.1. TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND -BACKFILL THE POSTS AGAINST THE BACK TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE. SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1,800 CF PER ACRE OF (DOWNSTREAM) WALL OF THE TRENCH PROPOSED SITE TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES. MAINTAIN A 2:1 LENGTH TO WIDTH RATIO. AND NOT EXCEP 12" MIN.— (NET SIDE AWAY FROM FLOW 4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT (12" MAX. **PLAN DOCUMENTS** DIRECTION) TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PERCENT SLOPE OF ROADWAY LENGTH OF STONE REQUIRED IN ROCKY DRIVE THE POST INTO THE GROUND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS. SOIL.) UNTIL THE NETTING IS LAYING ACROSS 5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS THE TRENCH BOTTOM NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE. 16. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE LAY THE TOE-IN FLAP OF THE FARRIC 2% TO 5% ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION ONTO THE UNDISTURBED BOTTOM OF ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1 >5% THE TRENCH, BACKFILL ALSO BE (1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY 98 BEACON ACCOMPLISHED BY LAYING FABRIC FLAP **TOE-IN METHODS** 17. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED. ON UNDISTURBED GROUND AND PILING STREET LLC & TAMPING FILL AT THE BASE. THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THI PERSPECTIVE OF FENCE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME TYP. SILTATION FENCE STABILIZED CONSTRUCTION ENTRANCE **STRAW BALE** PROPOSED THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER **DEVELOPMENT** THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE MAP: 3 LOT: 1A & 8 EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE INLET GRATE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES. BEACON STREET, —SECURE LIFTING LOOPS TO OR UNDER SURFACE FINISHED GRADE— CITY OF WORCESTER LOOPS SIZED FOR 1"-20. EROSION CONTROL NOTES DURING WINTER CONSTRUCTION - STAPLES REBAR. LIFT FILET BAG WORCESTER COUNTY 2 PER BALE - PLYWOOD 48" X 24" FROM INLET USING **MASSACHUSETTS** WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15. BINDING WIRE REBAR FOR HANDLES PAINTED WHITE 10 MIL PLASTIC → STRAW BALE WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE 2"X2"X3/4" OVERFLOW HOLES-LINING MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT RUBBER BLOCK BLACK LETTERS GEOTEXTILE BAG-ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF. CONCRETE - NATIVE MATERIAL REMOVE TRAPPED WASHOUT 4" BRIGHTLY COLORED-(OPTIONAL) SEDIMENT WHEN CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE 0.5" LAG SCREWS YLON ROPE EXPANSION 1/4" BRIGHTI Y **BRIGHTLY COLORED** WOOD OR METAL AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL RESTRAINT OOPS SIZED FOR 1" REBAR COLORED NYLON ROPE 352 TURNPIKE ROAD **EXPANSION RESTRAIN** STAKES (2 PER BALE PROTECTION AS LISTED IN ITEM 2 ABOVE **EXPANSION RESTRAINT** ISE REBAR FOR HANDLE TO CAN NO LONGER BE SEE **SOUTHBOROUGH, MA 01772** - WOOD POST 3" X 3" X 8' EMPTY FILTER SACK AT A ... **SECTION A-A** AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER Phone: (508) 480-9900 SEDIMENT COLLECTION GEOTEXTILE SHALL BE A MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT WOVEN POLYPROPYLENE LOCATION SEEDED. MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE www.BohlerEngineering.com FABRIC THAT MEETS OR **EXCEEDS REQUIREMENT** FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF IN THE SPECIFICATIONS NOVEMBER 1ST AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED. IF THE EXPOSED AREA HAS BEEN LOAMED. FINAL GRADED AND IS SMOOTH CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT) THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN PLACE AN OIL ADSORBE **SECTION** MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED PAD OR PILLOW OVER FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES LE VIEW OF STAPLE DETAIL INLET GRATE WHEN OI TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF **INSTALLED FILTER** SPILLS ARE A CONCERN SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS. TEMPORARY CONCRETE WASHOUT FACILITIES INSPECT PER LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE SHOULD BE LOCATED A MINIMUM OF 50 FT. FROM REGULATORY 26.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH **ISOMETRIC** STAKE (TYP.) PROPERTIES STORM DRAIN INLETS 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. REQUIREMENTS NETTING OR WOOD CELLULOSE FIBER GRAB TENSILE STRENGTH ASTM D-4632 ONCE CONCRETE WASTES ARE WASHED INTO THE 26.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE 2 BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH GRAB TENSILE ELONGATION ASTM D-4632 DESIGNATED AREA AND ALLOWED TO HARDEN, THE THE WIDTH, "W", OF THE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN 120 LBS PUNCTURE ASTM D-4833 CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH FILTER SACK SHALL 26.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST MULLEN BURST 800 PSI MAINE LICENSE No. 12553 ASTM D-3786 BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" DISPOSED OF OFF-SITE, CONTRACTOR TO DISPOSE MATCH THE INSIDE WID TRAPEZOID TEAR ASTM D-4533 120 LBS THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%. PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF OF HARDENED CONCRETE ON A REGULAR BASIS. OF THE GRATED INLET **UV RESISTANCE** ASTM D-4355 80% STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET. 3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED 40 US SIEVE APPARENT OPENING SIZE ASTM D-4751 ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN. - 10 MIL PLASTIC LINI **SOIL EROSION &** 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE WITHIN 30 FT. OF THE TEMPORARY CONCRETE 40 GAL/MIN/SQ FT FLOW RATE ASTM D-4491 AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES THE DEPTH, "D", OF TH WASHOUT FACILITY DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR T IN APPROPRIATE LOCATIONS AS PER MANUFACTURES RECOMMENDATION. MODERATE TO HIGH FLOW 4. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF FILTER SACK SHALL BE **SEDIMENT** 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT PROPERTIES 10 MIL POLYETHYLENE SHEETING AND SHOULD BE **BETWEEN 18 INCHES AN** 265 LBS GRAB TENSILE STRENGTH PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ASTM D-4632 FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT 36 INCHES. ON THE PREVIOUSLY INSTALLED BLANKET. CONTROL NOTES GRAB TENSILE ELONGATION ASTM D-4632 COMPROMISE THE IMPERMEABILITY OF THE - STRAW BALE (TYP.) 135 LBS PUNCTURE ASTM D-4833 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE THE LENGTH. "L". OF MATERIAL MULLEN BURS 420 PSI ASTM D-3786 5. WASHOUT FACILITIES MUST BE CLEANED, OR NEW 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE FILTER SACK SHALL & DETAILS TRAPEZOID TEAR 45 LBS ASTM D-4533 FACILITIES MUST BE CONSTRUCTED AND READY FOR MATCH THE INSIDE **UV RESISTANCE** ASTM D-4355 6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED. USE ONCE THE WASHOUT IS 75% FULL. LENGTH OF THE GRATED 20 US SIEVE APPARENT OPENING SIZE ASTM D-4751 STRAW BALE AND STAPLES MAY BE SUBSTITUTED INLET BOX. 200 GAL/MIN/SQ F FLOW RATE ASTM D-4491 WITH ALTERNATE SECURING MEASURES SUCH AS 1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO ASTM D-4491 C-602 CONCRETE BLOCK. PROPERLY SECURE THE BLANKETS. 2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION. DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS. **EROSION CONTROL BLANKET 2:1 SLOPES** FILTER SACS (GRATED INLETS) CONCRETE WASTE MANAGEMENT AREA (SLOPE INSTALLATION) **REVISION 2 - 2/15/2024**



LANDSCAPE SPECIFICATIONS

SCOPE OF WORK:

- 1.1. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT. UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR
- 2.1. GENERAL ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT
- 2.2. TOPSOIL NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY
- 2.3. LAWN ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL. OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN
- 2.3.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.

TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.

- SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
- MULCH ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES /DETAILS.
- FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE
- FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY

2.6. PLANT MATERIAL

2.5. FERTILIZER

- ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION
- (FORMERLY THE AMERICAN, ASSOCIATION OF NURSERYMEN) IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL. 2.6.2.
- 2.6.3. OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY

PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT

- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS,
- CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT
- SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. 2.6.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

GENERAL WORK PROCEDURES

- 3.1. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY
- 3.2. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- 4.1. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
- ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE
- 4.3. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS
- SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY
- 5.4. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE

SOIL MODIFICATIONS

- 6.1. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY
- 6.2. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS
- THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY
- TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH
- TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE
- MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- FINISHED GRADING 7.1. UNLESS OTHERWISE CONTRACTED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF
- TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT
- 7.4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS
- CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO
- ACHIEVE THE DESIRED COMPACTED THICKNESS. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
- ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):
- 8.4.1. 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER
- 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
- 8.5. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

- INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

- 9.3. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- 9.4. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING
- 9.5. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED
- 9.6. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
- PLANTS: MARCH 15 TO DECEMBER 15
- LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL
- 9.7. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
 - ACER RUBRUM PLATANUS X ACERIFOLIA BETULA VARIETIES POPULUS VARIETIES **CARPINUS VARIETIES** PRUNUS VARIETIES **CRATAEGUS VARIETIES** PYRUS VARIETIES KOELREUTERIA QUERCUS VARIETIES LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA
- 9.8. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

ZELKOVA VARIETIES

1 PART PEAT MOSS 9.8.2. 1 PART COMPOSTED COW MANURE BY VOLUME

LIRIODENDRON TULIPIFERA

- 3 PARTS TOPSOIL BY VOLUME
- 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS: 2 TABLETS PER 1 GALLON PLANT
- 3 TABLETS PER 5 GALLON PLANT
- 4 TABLETS PER 15 GALLON PLANT LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK
- 9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER
- 9.10. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET
- AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL. 9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
- 9.12. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER
- 9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS
- 9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR
- SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- 9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
- 10. TRANSPLANTING (WHEN REQUIRED) 10.1. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
- 10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
- 10.3. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- 10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
- 10.5. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. 10.6. F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE

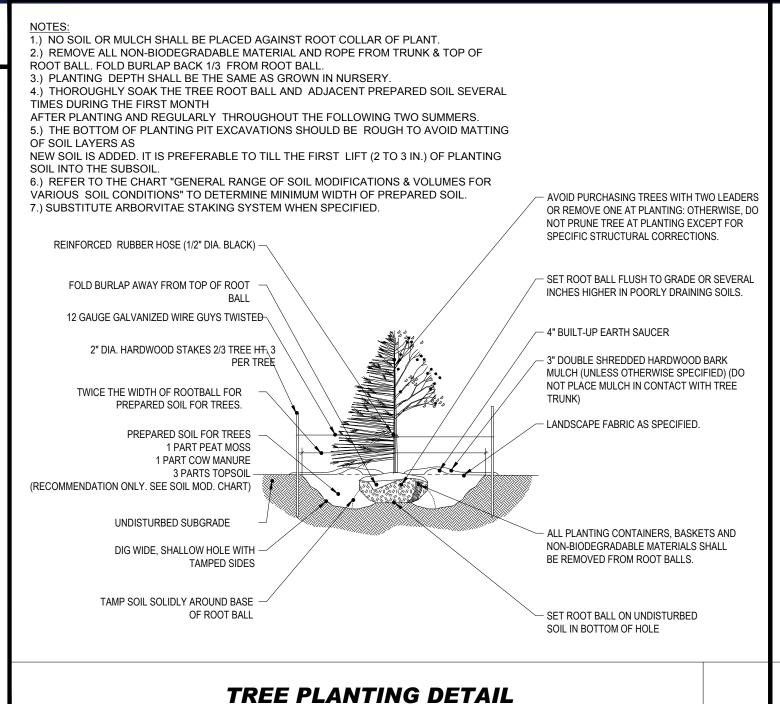
- 11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT AL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
- 11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY
- 11.3. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE. IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE

- 12.1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED
- 12.2. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
- 12.3 TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE
- 12.4. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF FRODED OR BARE AREAS
- 13.1. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
- 13.2. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR **AUTHORIZED REPRESENTATIVE**

14. MAINTENANCE (ALTERNATIVE BID):

14.1. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.



18" STAKE INTO UNDISTURBED

JOINTS AS PER MANUFACTURERS

GROUND EVERY 30" O.C. LAP

LAWN OR GRAVEL AREA

UNDISTURBED SUBGRADE-

%" WIDE, 900 LB. BREAK STRENGTH. ARBORTIE SHALL BE FASTENED TO

STAKES TO EACH //

BLACK ALUMINUM EDGING

SPECIFIED ARBORTIE GREEN (OR WHITE)

STAKING AND GUYING MATERIAL IS TO BE

FLAT WOVEN POLYPROPYLENE MATERIAL.

3/4" WIDE, 900 LB. BREAK STRENGTH.

STAKES IN A MANNER WHICH PERMITS

TYPICAL

ARBORTIE

TREE MOVEMENT AND SUPPORTS THE

INSTALLATION

TIF A SIMPLE KNOT 18-24"

FROM EITHER END OF THE

DIAMETER OF THE TREE)

(DEPENDING ON THE

RECOMMENDATION.

3/16" x 4" BLACK-

 $\stackrel{\checkmark}{\leftarrow}$ $\stackrel{-}{\sim}$ MULCH

AS SPECIFIED

- PREPARED

THIS END WRAPPED

KNOT IS TIGHTENED

THIS END STEP 2:

AROUND TREE AFTER

TO STAKE WRAP THIS END AROUND

TREE, BEGIN A NEW KNOT

BELOW THE KNOT THAT

WAS TIED IN STEP 1.

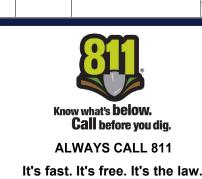
TOPSOIL

ALUMINUM EDGING

AREA OF SITE CONSTRUCTION TREE PROTECTION FENCE SHALL BE INSTALLED TO FOLLOW TREE CANOPY DRIP I INF OR PROPOSED LIMITS OF DISTURBANCE. -4' HIGH WOOD & WIRE SNOW FENCE W/WOOD STAKES AT A MAXIMUM OF 8' ON CENTER. AS AN OPTION. ORANGE/FLUORESCENT HIGH-DENSITY "VISI-FENCE" OR APPROVED EQUAL CAN BE USED. -WOOD & WIRE SNOW FENCE USED AS TREE GUARD TO PREVENT DAMAGE FROM CONSTRUCTION EQUIPMENT. TREE DRIP LINE/TREE PROTECTION ZONE -AREA WITHIN TREE PROTECTION ZONE TO REMAIN UNDISTURBED DURING - 6' WOOD OR STEEL FENCE POSTS AT 8' MAXIMUM CENTER TO CENTER (MINIMUM 2' BELOW GRADE). **ELEVATION**

REVISIONS

REV DATE COMMENT 4/28/2023 | ZBA COMMENTS 2/15/2024 SUBMISSION



BIOBARRIER ROOT BARRIER DETAIL

SLIDE KNOT JUST COMPLETED

UP TO THE KNOT TIED IN STEP 1

FASTEN FREE END TO STAKE OR

THIS END

TO STAKE

TREE PROTECTION DURING SITE

CONSTRUCTION

-SEE DECIDUOUS OR EVERGREEN

TREE DETAIL FOR PLANTING

TO STAKE

THE ARBORKNOT PROVIDES

SECURE, GIRDLE FREE

ATTACHMENT OF THE

ARBORTIE TO TREE.

PURPOSES

. ANY TREE INSTALLED WITHIN 10 FT. OF NEW CONCRETE

2. TREES SHALL BE INSTALLED ACCORDING TO THE

CONC. SIDEWALK

BARRIER FABRIC AS SHOWN

APPROPRIATE PLANTING DETAIL

BIOBARRIER ROOT-

BARRIER FABRIC OR

APPROVED EQUAL

IOBARRIER ROOT BARRIER

FABRIC TO BE INSTALLED

BOTTOM OF STONE BASE

WHICHEVER IS GREATER

FOLLOW MOTION OF ARBORTIE

AS SHOWN FINISHING THE KNOT

BY PULLING TIGHTLY ON POINTS

A AND B AT THE SAME TIME.

N.T.S.

ARBORTIE STAKING DETAIL

STHIS END

TO STAKE

TO THE DEPTH OF TH

COURSE OR 10'

SIDEWALKS SHOULD BE INSTALLED WITH BIOBARRIER ROOT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC EVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUC DOCUMENT UNLESS INDICATED OTHERWISE PROJECT No. DRAWN BY: OCR / CS **CHECKED BY**

PERMIT SET

MAA220072.00-SPPD-2

PROJECT:

THIS END

TO STAKE

CAD I.D.:

N.T.S.

-UNDISTURBED SUBGRADE

(SEE PLANTING DETAIL)

-PREPARED SOIL FOR TREES

PROPOSED SITE **PLAN DOCUMENTS**

98 BEACON

STREET LLC PROPOSED

DEVELOPMENT

MAP: 3 LOT: 1A & 8 **BEACON STREET.** CITY OF WORCESTER, **WORCESTER COUNTY,** MASSACHUSETTS

352 TURNPIKE ROAD **SOUTHBOROUGH, MA 01772** Phone: (508) 480-9900

www.BohlerEngineering.com

M.J. MRVA

REGISTERED LANDSCAPE ARCHITECT NEW YORK No. 002359 CONNECTICUT No. 1359 MAINE No.4248

LANDSCAPE **NOTES** & **DETAILS**

REVISION 2 - 2/15/2024

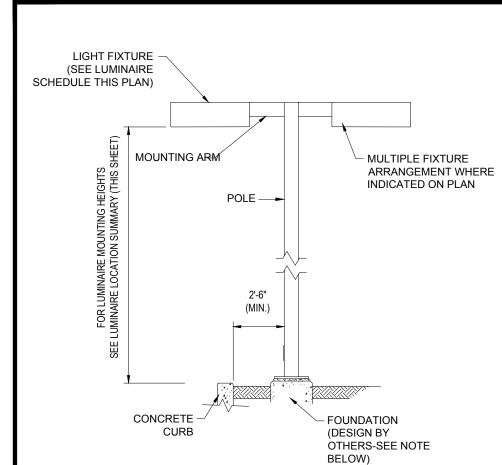


LIGHTING NOTES

- 1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- 2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING
- 3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
- 4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- 5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- 6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS,
- 7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER
- 8. IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES
- 9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE
- 10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- 11. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND

	NUM	ERIC	SUM	MAR	RY		
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
UPPER PARKING	ILLUMINANCE	FC	4.08	14.0	1.0	4.08	14.00
LOWER PARKING	ILLUMINANCE	FC	2.29	5.3	0.1	22.90	53.00

	LUMINAIRE SCHEDULE						
A.	SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION	
#	© ⊢ A	4	SINGLE	20,700	0.90	CREE OSQ LED AREA LIGHT WITH SHIELD MOUNTED @ 25'; OSQ-A-3ME-K-30K-UL	
	⊏⊖ С В	1	DOUBLE @ 180	20,700	0.90	CREE OSQ LED AREA LIGHT MOUNTED @ 25'; OSQ-A-3ME-K-30K-UL	
	∞ C	8	SINGLE	3,351	0.90	WALL MOUNT: BEGA 24351 (OR SIMILAR)	

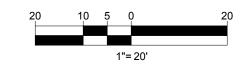


AREA LIGHT DETAIL

- NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL E RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL
- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.

 THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING
- TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



REVISIONS

COMMENT

REV DATE

1	4/28/2023	ZBA COMMENTS	OCR
'	4/20/2023	ZDA COMINIENTS	MMA
2	2/15/2024	PLANNING BOARD	OCR
	2/13/2024	SUBMISSION	MMA



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PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTIC DOCUMENT UNLESS INDICATED OTHERWISE. DRAWN BY: OCR / CSE CHECKED BY: DATE: CAD I.D.:

MAA220072.00-SPPD-2

PROJECT:

PROPOSED SITE **PLAN DOCUMENTS**

98 BEACON STREET LLC

PROPOSED

DEVELOPMENT MAP: 3 LOT: 1A & 8 **BEACON STREET,** CITY OF WORCESTER, WORCESTER COUNTY,

MASSACHUSETTS

352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900

www.BohlerEngineering.com

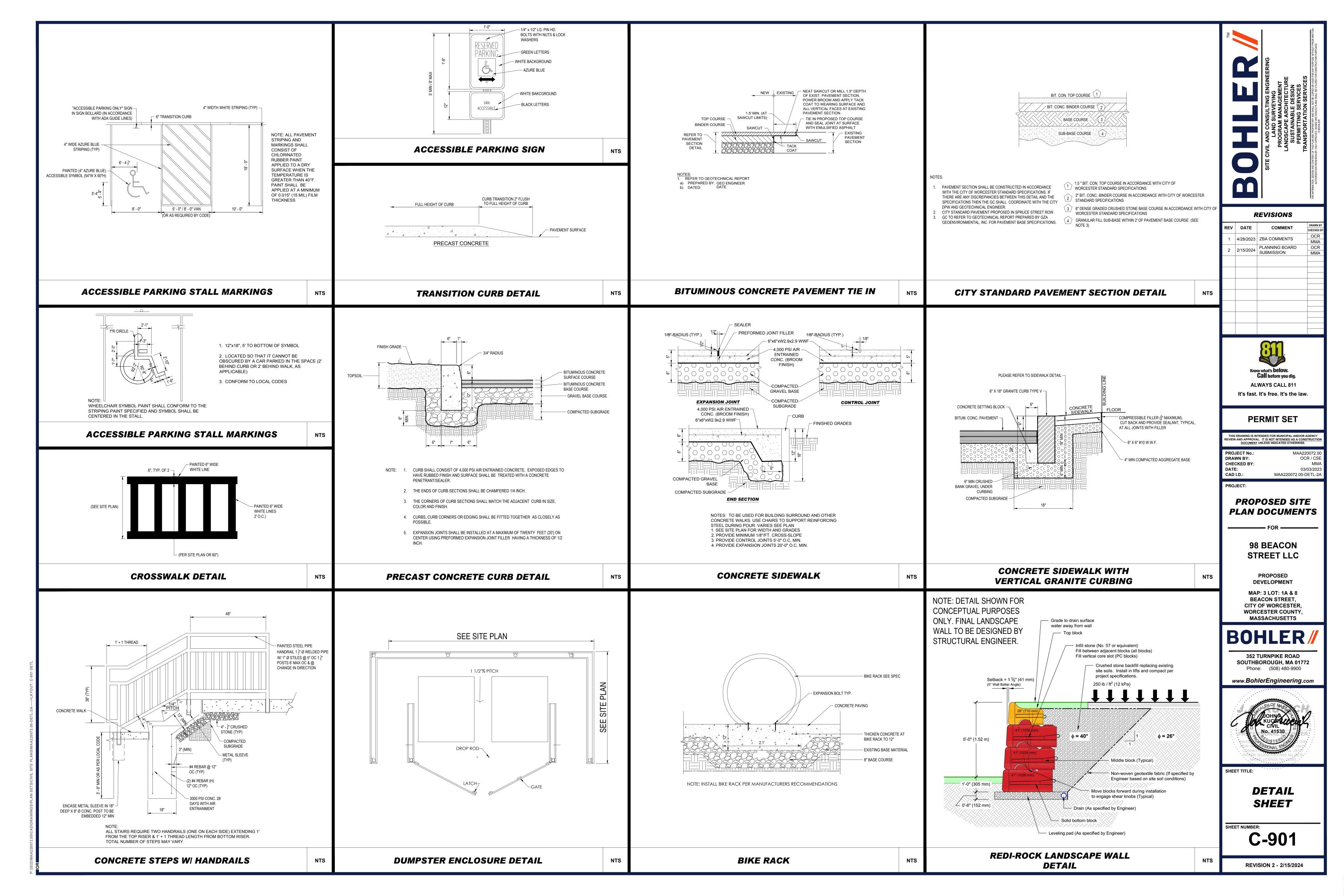


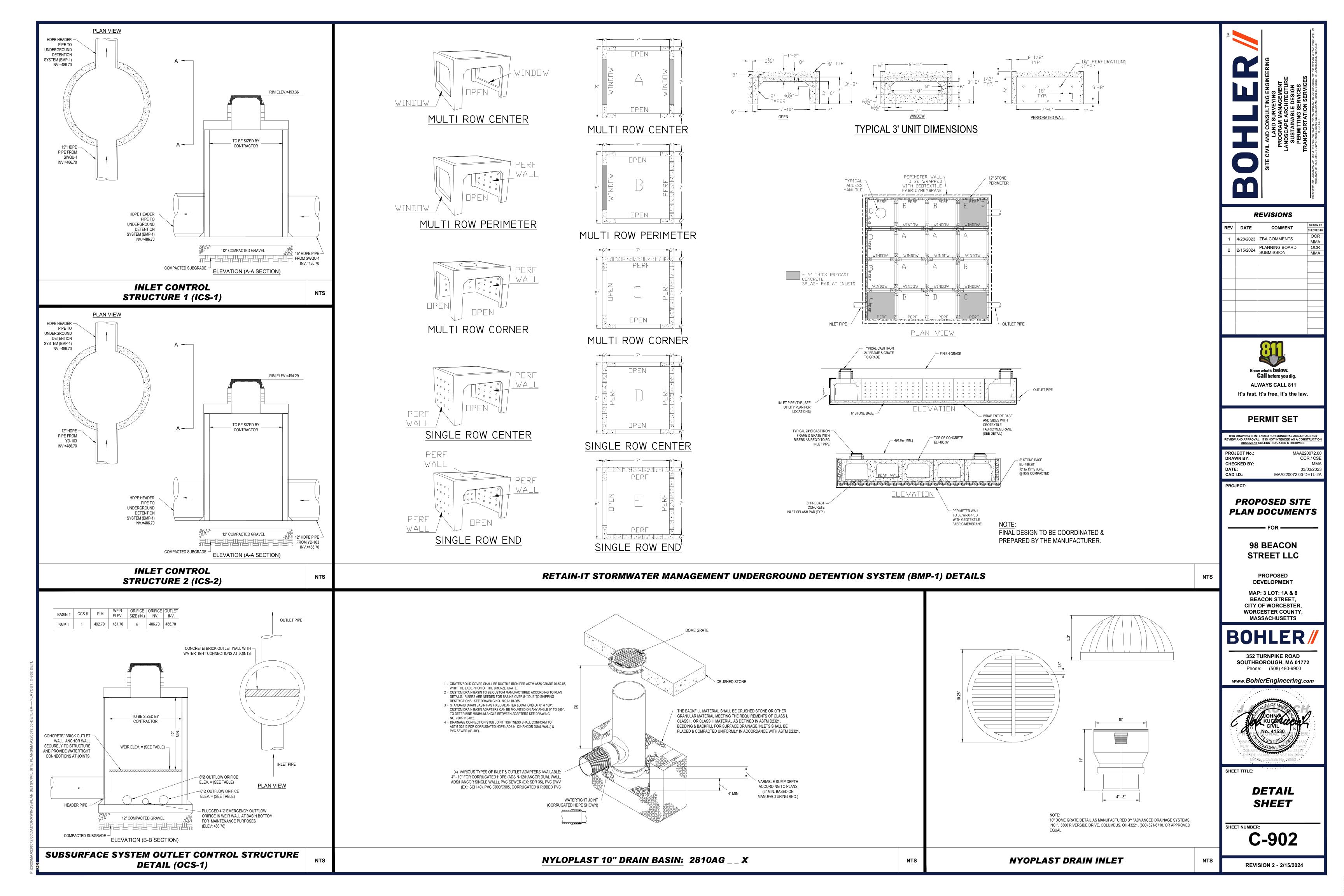
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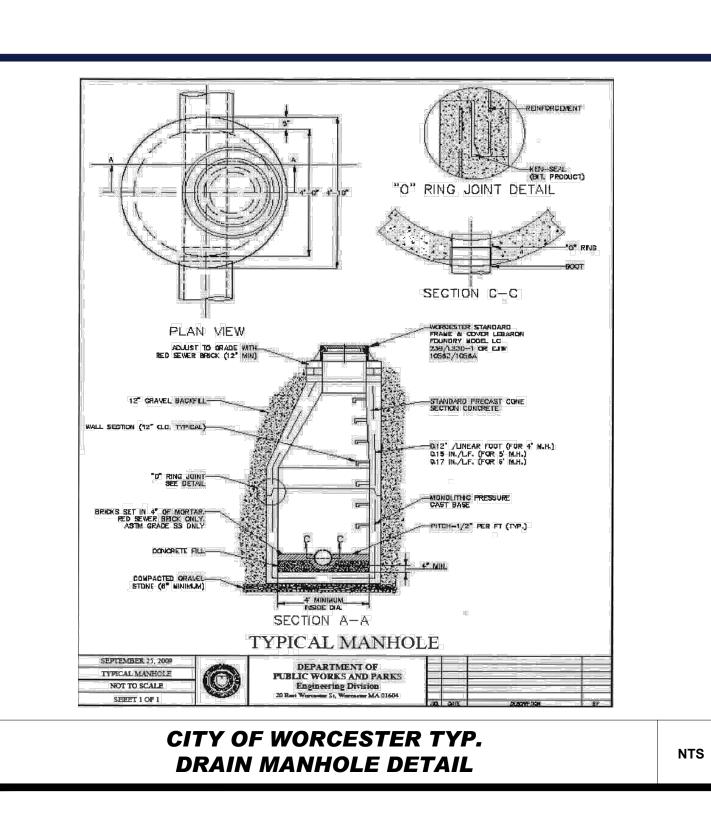
LIGHTING PLAN

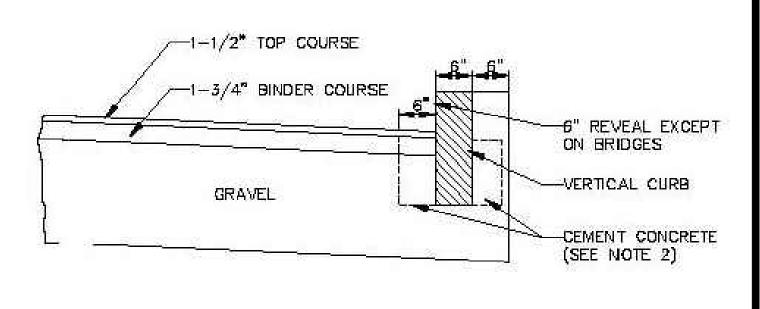
C-703

REVISION 2 - 2/15/2024





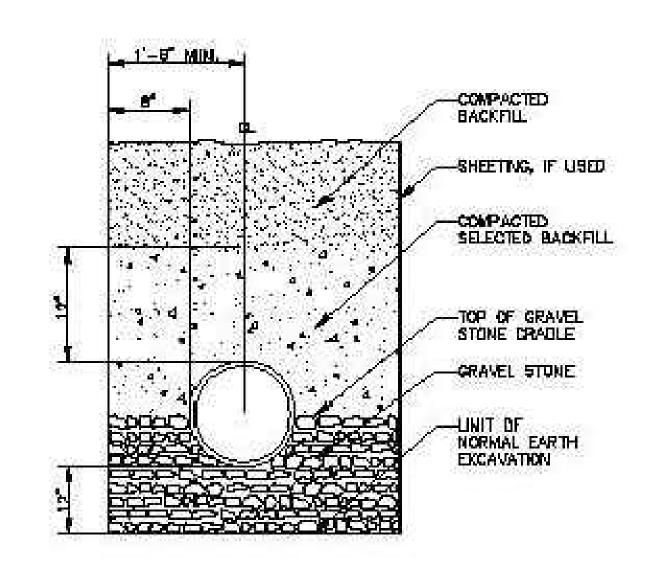




- 1. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE, REPLACE WITH CEMENT CONCRETE.
- 2. ANY CLASS CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPARTMENT UNDER SECTION M4 OF THE 1973 STANDARD SPECIFICATIONS. ALL TEST REQUIREMENTS ARE WAIVED, BITUMINOUS CONCRETE SHALL NOT BE USED AS A
- 3. PAYMENT FOR CLASS B CONCRETE WILL BE PAID FOR UNDER ITEM 446.1.

CITY OF WORCESTER METHOD OF SETTING

VERTICAL CURB DETAIL



CITY OF WORCESTER TYPICAL DRAIN MAIN TRENCH

See patch detail

for roadway repair

State specification MI.03.0,

TYPE 8,3"Max. stone

A.L.M

Drawn By: R.H.

Checked By: M.E.D.

3 A.C.M. 4/1/05

W = 5

STREET LINE

IN CUT DRIVEWAY & -16% GRADE

NTS

considers existing soil suitable,

Type B, 3" Max. stone

Section under gross | Section under pavement

←3′ for 12″ & smaller pipe→

CITY OF WORCESTER TYPICAL TRENCH DETAIL

TRENCH DETAIL

TYPICAL

CITY OF WORCESTER

Department of Public Works

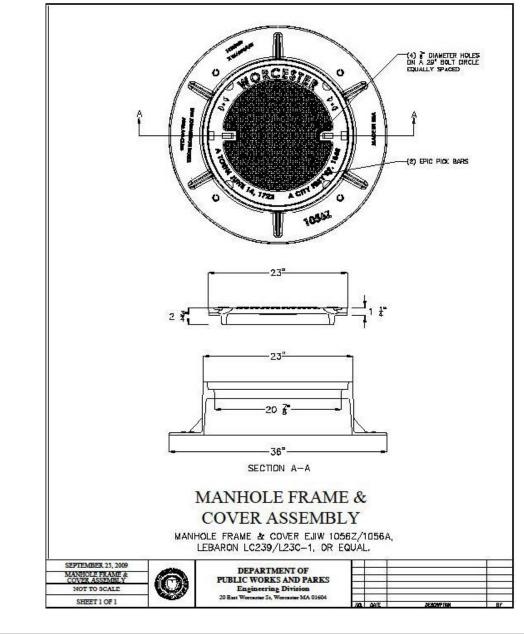
No Scale

Woter Operations

Omit topsoil

encountered

where no



CITY OF WORCESTER MANHOLE FRAME

AND COVER DETAIL

-=-W/-14*-----

OR %" STONE (6" MIN)

CONCRETE CURBING OR BIT

CITY OF WORCESTER PRECAST

CATCH BASIN DETAIL

OPENING AT CENTER

WORCESTER STANDARD

CURB INLET PITCHEL

WORCESTER STANDARD FRAME & GRATE PITCHED TO GRADE FRAME:

LEBARON FOUNDRY LF288 OR EJIW

7288Z1 (3-FLANGE), EJIW 7288Z

GRATE: LEBARON FOUNDRY L28SG1 OR EJIW

—ADJUST TO GRADE WITH RED SEWER

BRICK (12" MINIMUM)

-6" TOP RING, 5' O.D. W/ 30"x36" OPENING

-8" THICK TOP SLAB W/ OFFSET 48°

24" R.B. WITH 10"

-12" GRAVEL BACKFILL

0.15 SQUARE INCH PER

L.F. REINFORCEMENT FOR WALLS & BASE

-COMPACTED GRAVEL

REVISIONS						
REV	DATE	COMMENT	DRAWN BY CHECKED BY			
1	4/28/2023	ZBA COMMENTS	OCR MMA			
2	2/15/2024	PLANNING BOARD SUBMISSION	OCR MMA			

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PROJECT:

NTS

PROPOSED SITE **PLAN DOCUMENTS**

98 BEACON

STREET LLC

PROPOSED DEVELOPMENT

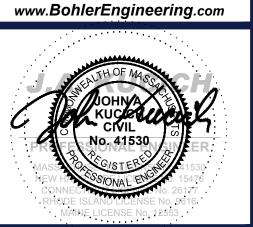
MAP: 3 LOT: 1A & 8 BEACON STREET, CITY OF WORCESTER, WORCESTER COUNTY,



MASSACHUSETTS

352 TURNPIKE ROAD **SOUTHBOROUGH, MA 01772**

Phone: (508) 480-9900



SHEET TITLE:

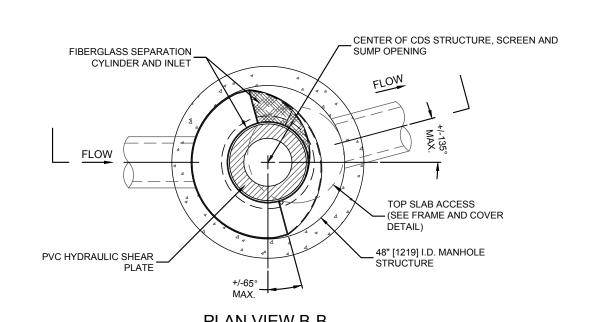
DETAIL SHEET

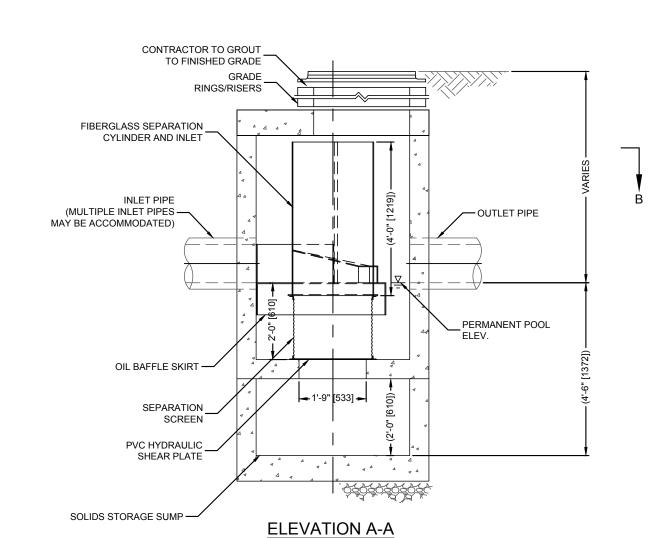
C-903

REVISION 2 - 2/15/2024

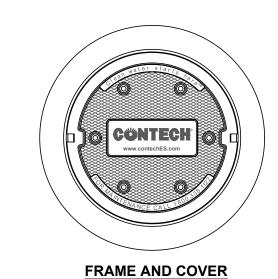
NTS

NTS





CDS2015-4-C DESIGN NOTES
THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.
CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)



SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS

NTS

STRUCTURE ID					ID
WATER QUALITY	FLOW RAT	Έ (CFS OR L/s)		WQFLOV
PEAK FLOW RAT	E (CFS OR	L/s)			PEAK
RETURN PERIOD	OF PEAK F	LO	W (YRS)		RETURN
SCREEN APERTI	JRE (2400 C	R 4	1700)		MICRON
PIPE DATA: I.E. MATERIAL DIAMETER					
INLET PIPE 1	ELEV	1	MATERIAL		DIAM
INLET PIPE 2	ELEV	1	MATERIAL		DIAM
OUTLET PIPE	ELEV	1	MATERIAL		DIAM
RIM ELEVATION					RIM
ANTI-FLOTATION	BALLAST		WIDTH	Т	HEIGHT
WIDTH HEIGHT					

NTS

- GENERAL NOTES

 1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE. 2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- 5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS
- CDS2015-4-C ONLINE CDS STANDARD DETAIL (SWQU-1)

LIP CREATED— WITH FURRING -SUPERPAVE % BASE COURSE. **EXCAVATION** LAID ON BASE

CONCRETE CURBING SEE PLAN GRATE (SEE GRADING AND UTILITY FOR LOCATION AND TYPE SHEET FOR RIM ELEVATIONS) FINISH GRADE -- MORTAR 3 SIDES 0.2' AT TOP PRECAST REINFORCED 6" THICK -CONCRETE CONE OR 8" THIS FLAT LID WHERE BURAL IS SHALLOW). NON-SHRINK MORTAR @ PIPE OPENINGS ALL AROUND - COMPRESSIBLE FILLER NON-SHRINK MORTAR @ PIPE -(BUTYL RUBBER) ALL JOINTS OUTFLOW PIPE (18" Ø MAX) 12" COMPACTED GRAVEL COMPACTED SUBGRADE -NOTES:

1. ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478. 2. USE PRECAST FLAT SLAB TOP FOR SHALLOW INVERT APPLICATIONS

24" SQ. HEAVY DUTY FRAME & -

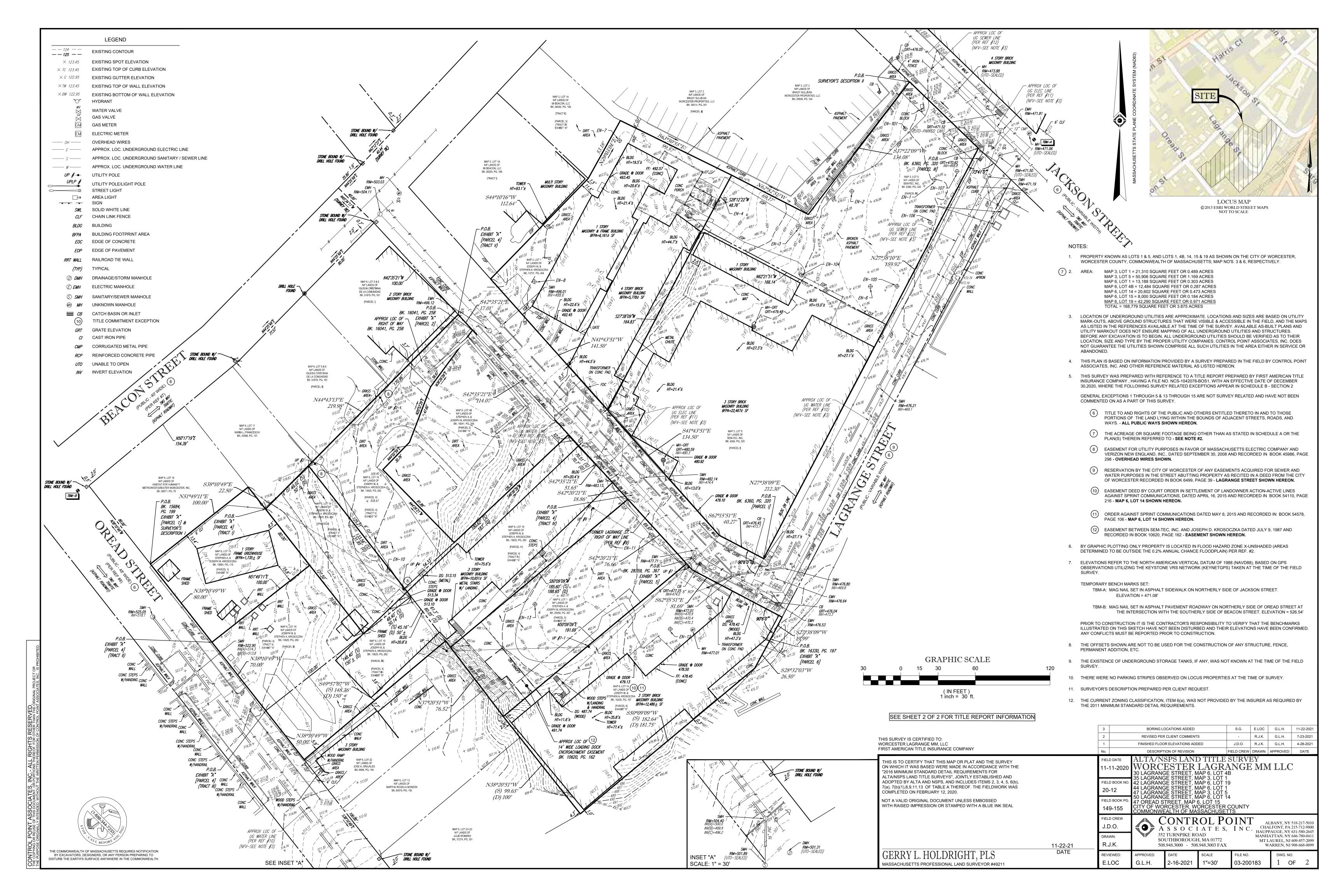
MAX IN FILL DRIVEWAY SECTION A-A NOT TO SCALE CITY OF WORCESTER DRIVEWAY **OPENING DETAIL**

2'-6"MIN. TYPICAL BERM KEYED INTO THESE DIMENSIONS APPLY TO-CONDITIONS TO BE MET AND ARE FIGURED FOR A +14% GRADE MAX

PRECAST CONCRETE DEEP SUMP CATCH BASIN

FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED 4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. INSTALLATION NOTES

A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



BEGINNING ON THE NORTHEASTERLY SIDE OF OREAD STREET AT THE CENTER OF A HOLE IN A STONE MONUMENT AT A CORNER OF LAND, NOW OR FORMERLY OF JOSEPH A. SAWYER, ET AL;

THENCE NORTHEASTERLY BY LAND NOW OR FORMERLY OF SAID SAWYER, ONE HUNDRED (100) FEET TO THE CENTER OF A HOLE IN A STONE MONUMENT AT LAND NOW OR FORMERLY OF L.D. THAYER MANUFACTURING COMPANY;

THENCE SOUTHERLY BY LAND NOW OR FORMERLY OF SAID COMPANY, AND LAND NOW OR FORMERLY OF JAMES A. CALVIN EIGHTY (80) FEET TO A STAKE;

THENCE SOUTHWESTERLY BY A LINE PARALLEL TO AND EIGHTY (80) FEET DISTANT FROM THE FIRST-DESCRIBED LINE ONE HUNDRED (100) FEET TO THE NORTHEASTERLY LINE OF SAID OREAD STREET;

THENCE NORTHWESTERLY BY SAID OREAD STREET, EIGHTY (80) FEET TO THE POINT OF BEGINNING.

BEGINNING AT A DRILL HOLE AT THE NORTHEASTERLY CORNER OF THE PARCEL HEREIN DESCRIBED ON THE SOUTHWESTERLY LINE OF LAGRANGE STREET, SAID POINT BEING ONE HUNDRED SEVENTEEN AND ONE HUNDREDTHS (117.01) FEET SOUTHEASTERLY (MEASUREI ON THE SOUTHWESTERLY SIDE OF SAID LAGRANGE STREET) OF THE INTERSECTION OF THE SOUTHWESTERLY LINE OF SAID LAGRANGE STREET AND THE SOUTHEASTERLY LINE OF BEACON STREET;

THENCE RUNNING SOUTH 31° 56' EAST BY THE SOUTHWESTERLY LINE OF LAGRANGE STREET ONE HUNDRED FOURTEEN AND

THENCE RUNNING SOUTH 57° 19' WEST BY LAND NOW OR FORMERLY OF WORCESTER ELECTRIC & MANUFACTURING COMPANY 126.30 FEET TO A POINT;

THENCE RUNNING NORTH 33° 47' WEST EIGHTY-ONE AND EIGHTY-NINE HUNDREDTHS (81.89) FEET TO AN IRON PIPE:

THENCE RUNNING NORTH 54° 42' 20" EAST THIRTY AND SEVENTY-NINE HUNDREDTHS (30.79) FEET TO AN IRON PIPE:

THENCE RUNNING NORTH 31° 31' 50" EAST FORTY-SEVEN AND SIXTY HUNDREDTHS (17.60) FEET, MORE OR LESS, TO AN IRON PIPE;

THENCE RUNNING NORTH 47° 05' 30" EAST FIFTY-SIX AND SIXTY-SEVEN HUNDREDTHS (56.67) FEET TO THE DRILL HOLE AT THE POINT OF BEGINNING.

THE LAST FOUR DESCRIBED LINES BEING BY LAND NOW OR FORMERLY OF HENRY ROTHSCHILD. SAID PARCEL CONTAINS TWELVE HOUSAND FOUR HUNDRED EIGHTY-FOUR (12,484) SQUARE FEET OF LAND AND IS GRANTED TOGETHER WITH THE RIGHT TO PASS AND REPASS OVER THE FOLLOWING DESCRIBED RIGHT OF WAY ABUTTING THE LAST ABOVE DESCRIBED LINE REGINNING AT THE NORTHEASTERLY CORNER OF THE RIGHT OF WAY HEREIN DESCRIBED IN THE SOUTHWESTERLY LINE OF LAGRANGE STREET IN THE SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY OF THE CITY OF WORCESTER, SAID POINT OF BEGINNING BEING ONE HUNDRED (100) FEET SOUTHEASTERLY OF (MEASURED ON THE SOUTHWESTERLY LINE OF LAGRANGE STREET) THE INTERSECTION OF THE SOUTHWESTERLY LINE OF LAGRANGE

STREET AND THE SOUTHEASTERLY LINE OF BEACON STREET;

THENCE RUNNING SOUTH 31° 56' EAST BY THE SOUTHWESTERLY LINE OF LAGRANGE STREET SEVENTEEN AND ONE HUNDREDTHS (17.01) FEET TO A DRILL HOLE;

THENCE RUNNING SOUTH 47° 05' 30" WEST BY THE PARCEL ABOVE-DESCRIBED FIFTY-SIX AND SIXTY-SEVEN ONE HUNDREDTHS (56.67) FEET TO AN IRON PIPE;

THENCE RUNNING NORTH 34° 13' WEST BY LAND OF THE GRANTOR, TWENTY-FIVE AND THIRTY-SIX ONE HUNDREDTHS FEET TO A POINT;

THENCE RUNNING NORTH 55° 47' EAST BY LAND OF THE CITY OF WORCESTER FIFTY-SEVEN AND TWENTY-EIGHT ONE HUNDREDTHS (57.28) FEET TO THE POINT OF BEGINNING.

PARCEL 3:

A CERTAIN PARCEL OF LAND SITUATED ON THE NORTHEASTERLY SIDE OF LAGRANGE STREET, BOUNDED AND DESCRIBED AS FOLLOWS:

SOUTHWESTERLY BY SAID LAGRANGE STREET, SIXTY (60) FEET;

SOUTHEASTERLY BY LAND NOW OR FORMERLY OF SARAH E. ALLEN AND \AND NOW OR FORMERLY OF WILLIAMS J. WOODS, ONE HUNDRED SEVENTY-EIGHT AND SIXTY-FIVE HUNDREDTHS (178.65) FEET;

NORTHEASTERLY BY LAND NOW OR FORMERLY OF JAMES A. COLVIN ESTATE, FIFTY-SIX (56) FEET;

NORTHWESTERLY BY LAND NOW OR FORMERLY OF THE CLEVELAND MACHINE COMPANY, LAND NOW OR FORMERLY OF CUTLER AND LAND NOW OR FORMERLY OF THE SAID COLVIN ESTATE, ONE HUNDRED SIXTY-EIGHT AND THIRTY-FIVE HUNDREDTHS (168.35) FEET;

CONTAINING ABOUT 9,849 SQUARE FEET OF LAND, MORE OR LESS.

REFERENCES:

- 1. THE TAX ASSESSOR'S MAPS OF WORCESTER, WORCESTER COUNTY, MAPS 3 AND 6.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM. FIRM. FLOOD INSURANCE RATE MAP. WORCESTER COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 628 OF 1075," COMMUNITY-PANEL NUMBER 25027C0618E, EFFECTIVE DATE: JULY 4, 2011.
- MAP ENTITLED "PLAN OF THE WORCESTER MACHINE SCREW CO'S PROPERTY, WORCESTER MASS, 1920." PREPARED BY HERBERT A. PRATT, CIVIL ENGINEER, DATED: 1920, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 34, PAGE 47.
- MAP ENTITLED "PLAN TO ESTABLISH PROPERTY LINE IN WORCESTER, MASS. BETWEEN AXEL P. SWANSTROM ETUX AND LAWRENCE J. WOODS." PREPARED BY FRANCIS B. THOMPSON, DATED: OCTOBER 14, 1953, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 193, PAGE 67.
- MAP ENTITLED "LAND IN WORCESTER, MA OWNED BY JOSEPH M. & STEPHEN A. KROSOCZKA TO BE CONVEYED TO HERBERT ROTHSCHILD," PREPARED BY WILLIAM B. NIEMITZ, R.P.L.S., DATED: OCTOBER 19,
- 1993. FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 678. PAGE 70. MAP ENTITLED "JACKSON STREET - 1853," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED DECEMBER 8, 1928. FILE NO. H-11 6968.
- MAP ENTITLED "BEACON STREET," PREPARED BY THE CITY OF WORCESTER BUREAU OF ENGINEERING, DEPARTMENT OF PUBLIC WORKS. FILE NO. H-9402, 3 OF 3 SHEETS.
- MAP ENTITLED "OREAD STREET 1870," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED JULY 17, 1928. FILE NO. H-15 6748.
- MAP ENTITLED "LAGRANGE STREET 1895," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED JANUARY, 1929. FILE NO. H-3 1493.
- 10. UNDERGROUND WATER FACILITY MAPPING PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC
- 11. UNDERGROUND ELECTRIC FACILITY MAPPING PROVIDED BY NATIONAL GRID.
- 12. UNDERGROUND SEWER FACILITY MAPPING PROVIDED BY THE CITY OF WORCESTER DEPARTMENT OF PUBLIC

TRACT II:

A CERTAIN PARCEL OF LAND SITUATED ON THE NORTHEASTERLY SIDE OF LAGRANGE STREET, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERLY CORNER THEREOF ON SAID LAGRANGE STREET AT A STONE MONUMENT SET IN THE GROUND AT A CORNER OF LAND FORMERLY OF GEORGE H. BUSHNELL AND ANOTHER:

THENCE NORTH 37 3/4 DEGREES EAST BY LAND FORMERLY OF SAID BUSHNELL AND ANOTHER, ONE HUNDRED EIGHTEEN AND EIGHT TENTHS (118.8) FEET MORE OR LESS, TO A STONE MONUMENT SET IN THE GROUND AT LAND NOW OR FORMERLY OF RICHARDSON, MERRIAM & CO.1 THENCE NORTH 36 DEGREES WEST BY LAND NOW OR FORMERLY OF SAID RICHARDSON, MERRIAM & CO., FORTY-SIX AND FIVE TENTHS (46.5) FEET, MORE OR LESS. TO

ANOTHER STONE MONUMENT SET IN THE GROUND:

THENCE SOUTH 54 DEGREES WEST BY LAND NOW OR FORMERLY OF THE ESTATE OF ETHAN ALLEN, ONE HUNDRED EIGHT AND FOUR TENTHS (108.4), MORE OR LESS, TO A STONE MONUMENT AT SAID LAGRANGE STREET;

THENCE SOUTH 32 DEGREES EAST BY SAID LAGRANGE STREET;

EXCEPTING AND RESERVING, HOWEVER, FROM THE ABOVE CONVEYANCE A SMALL AREA IF ANY CONVEYED BY GEORGIANNA CUTLER AND IDA M. CUTLER TO WILLIAM M. STEELE BY DEED DATED OCTOBER 15, 1971, RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 3142, PAGE 298, AND SUBJECT ALSO TO THE RIGHT STATED IN SAID DEED.

BEGINNING AT A POINT ON THE SOUTHEASTERLY SIDE OF BEACON STREET WHICH IS TWO HUNDRED THIRTY- SEVEN (237) FEET AND SIX (6) INCHES WESTERLY FROM THE WESTERLY LINE OF JACKSON STREET, WHICH POINT IS AT LAND OF THE ETHAN ALLEN ESTATE, FORMERLY SO-CALLED;

THENCE SOUTHEASTERLY AT RIGHT ANGLES WITH BEACON STREET, ONE HUNDRED FORTY-SIX AND ONE-HALF (146 1/2) FEET TO LAND FORMERLY CONVEYED BY ETHAN ALLEN TO ONE JOHNSON AND ANOTHER;

THENCE NORTHEASTERLY BY LAND LAST MENTIONED, THIRTY-ONE (31) FEET AND TWO (2) INCHES TO THE NORTHERLY CORNER OF

THENCE SOUTHEASTERLY BY LAND LAST MENTIONED, SIXTY (60) FEET TO THE SOUTHEASTERLY CORNER OF LAND LAST MENTIONED;

THENCE NORTH 370 50' EAST BY LAND LATE OF ETHAN ALLEN, SIXTY (60) FEET AND FOUR (4) INCHES TO A CORNER OF LAND LATE OF

THENCE NORTHERLY BY LAND LAST MENTIONED AND BY LAND OF RICHARDSON AND MERRIAM, ABOUT ONE HUNDRED TWENTY (120) FEET TO A POINT WHERE THIS LINE WILL STRIKE THE EASTERLY LINE OF LAND DESCRIBED IN A MORTGAGE TO THE PEOPLE'S SAVINGS BANK, IN WORCESTER, MADE BY SAID RICHARDSON AND OTHERS IN THE YEAR 1872, AND RECORDED IN SAID REGISTRY, BOOK 881, PAGE 345;

THENCE PARALLEL WITH THE FIRST COURSE ABOUT SIXTY-FIVE (65) FEET TO BEACON STREET;

THENCE SOUTH 54° WEST ON SAID BEACON STREET, FIFTY (50) FEET TO THE PLACE OF BEGINNING.

EXCEPTING FROM THE ABOVE A SMALL PARCEL FOR THE LAND CONVEYED TO WILLIAM R. O'NEIL BY DEED DATED JANUARY 10. 1941. RECORDED IN SAID REGISTRY, BOOK 2803, PAGE 103, AND ANOTHER TRACT OF LAND CONVEYED BY JAMES A. COLVIN TO THI DIAMOND TACK AND NAIL WORKS BY DEED DATED OCTOBER 6, 1917, RECORDED IN SAID REGISTRY, BOOK 2141, PAGE 251.

EXCEPTING FROM THE ABOVE A PARCEL OF LAND CONVEYED TO THE HERBERT F. ROTHSCHILD TRUST, FILED WITH WORCESTER REGISTRY OF DEEDS AT BOOK 16041, PAGE 256.

ABOUT 6,500 SQUARE FEET OF LAND SITUATED ON THE REAR SIDE OF BEACON STREET ADJOINING THE ESTATE NOW OR FORMERLY OF WILLIAM M. STEELE, BEING DESIGNATED ON ASSESSOR'S PLAN AS LOT NO. 24, PAGE NO. 28, AND

BOOK NO. 6 AND NOW OR FORMERLY BY FRANK J. MCGEE.

1933, AND RECORDED IN BOOK 2592, PAGE 546.

THAYER MFG., CO. ON BEACON STREET:

BEING THE SAME PREMISES SET FORTH IN A DECREE OF THE LAND COURT CASE NO. 7666 AND SAID DECREE BEING DATED FEBRUARY 19, 1937, FORECLOSING THE TAX LIEN OF THE CITY OF WORCESTER AND FOREVER FORECLOSING AND BARRING ALL RIGHTS OF REDEMPTION UNDER SAID DECREE ON THE PROPERTY DESCRIBED IN A DEED OF THE COLLECTOR OF TAXES, DATED SEPTEMBER 26.

FOR A MORE PARTICULAR DESCRIPTION OF SAID PREMISES, REFERENCE IS MADE TO A DEED FROM MARGARET MCGEE TO FRANK J. MCGEE DATED AUGUST 28, 1930, AND RECORDED WITH WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 2527, PAGE 176, BOUNDED

BEGINNING: AT A STONE MONUMENT AT THE SOUTHWESTERLY CORNER OF THE PROPERTY NOW OR FORMERLY OWNED BY THE L.D.

THENCE: RUNNING SOUTH 26°33' EAST. ONE HUNDRED TWENTY-SEVEN AND 5/10(127.5) FEET ALONG THE PROPERTY NOW OR

THENCE: NORTH 62° 35' EAST, THIRTY-THREE AND 5/10 (33.5) FEET ALONG THE LINE OF PROPERTY NOW OR FORMERLY OWNED BY

FORMERLY OWNED BY TABER AND BATTEY TO THE PROPERTY NOW OR FORMERLY OWNED BY ONE TRASK:

THENCE: NORTH 58° 50' EAST, SIXTEEN AND 64/ 100 (16.64) FEET TO A MONUMENT SET IN THE GROUND; THENCE: NORTH 26° 26' WEST. SIX (6) FEET:

THE PROPERTY NOW OR FORMERLY OWNED BY ONE HICKEY;

THENCE: NORTH 26° 27' WEST, ONE HUNDRED TWENTY-FIVE AND 95/100 (125.95) FEET TO A POINT AT THE SOUTHERN CORNER OF

THENCE: SOUTH 56° 11' WEST, FIFTY (50) FEET, MORE OR LESS, BY LAND NOW OR FORMERLY OF L.D. THAYER MFG., CO. TO THE MONUMENT AT THE POINT OF BEGINNING

THE LAND IN SAID WORCESTER ON THE EASTERLY AIDE OF OREAD STREET, AND BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERLY LINE OF SAID OREAD STREET, FIFTY (50) FEET NORTHERLY FROM THE CENTER OF A DRILL HOLE IN A STONE MONUMENT SET STANDING IN THE GROUND AT THE INTERSECTION OF LAND OF T.B. MURPHY AND LOUISA TRASK;

THENCE: NORTHERLY BY THE EASTERLY LINE OF SAID OREAD STREET SEVENTY (70) FEET TO LAND NOW OR LATE OF

ONE FITZGERALD:

THENCE: EASTERLY BY LAND OF SAID FITZGERALD ONE HUNDRED (100) FEET TO LAND NOW OR LATE OF ONE COLVIN; THENCE: SOUTHERLY BY LAND OF SAID CALVIN SEVENTY (70) FEET TO LAND OF SAID TRASK;

THENCE: WESTERLY BY LAND OF SAID TRASK ONE HUNDRED (100) FEET TO THE POINT OF BEGINNING. CONTAINING AN AREA OF 7,000 SQUARE FEET.

TRACT III:

A CERTAIN TRACT OR PARCEL OF LAND WITH ALL THE PRIVILEGES AND APPURTENANCES THERETO BELONGING SITUATED ON THE NORTHEASTERLY SIDE OF DREAD STREET IN SAID WORCESTER, BOUNDED AND DESCRIBED AS FOLLOWS, TO WIT;

BEGINNING: AT THE NORTHWESTERLY CORNER THEREOF:

THENCE: SOUTHEASTERLY BY SAID OREAD STREET FIFTY (50) FEET TO LAND NOW OR FORMERLY OF EDWIN J. NIGHTINGALE;

THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF SAID NIGHTINGALE ONE HUNDRED FIFTY (150) FEET MORE OR LESS TO A

THENCE: NORTHWESTERLY BY SAID WALL OR FENCE FIFTY (50) FEET TO LAND NOW OR FORMERLY OF CALEB WALLS; THENCE:

SOUTHWESTERLY BY LAND NOW OR FORMERLY OF SAID WALLS ONE HUNDRED FIFTY (150) FEET MORE OF LESS TO THE PLACE OF BEGINNING

LAGRANGE STREET AT THE LAND NOW OR FORMERLY OF ONE C.W. WALLS;

THE LAND AT 42 LAGRANGE STREET, WORCESTER, WORCESTER COUNTY, MASSACHUSETTS, WITH THE BUILDING THEREON AND ALL THE PRIVILEGES AND APPURTENANCES THERETO BELONGING, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING: AT THE SOUTHEASTERLY CORNER THEREOF AT A STONE BOUND SET IN THE GROUND IN THE WESTERLY LINE OF

THENCE: SOUTH 58°45 WEST, BY LAND NOW OR FORMERLY OF SAID WALLS ONE HUNDRED EIGHTY-EIGHT AND SIXTY-FIVE HUNDREDTHS (188.65) FEET TO AN IRON PIPE SET IN THE GROUND AT THE LAND NOW OR FORMERLY OF LOUISA TRASK;

THENCE: NORTH 28° 45' WEST, SIXTY-ONE AND THREE-TENTHS (61.3) FEET, MORE OR LESS, BY LAND OF SAID TRASK AND LAND NOW OR FORMERLY OF ONE COLVIN TO A CORNER;

THENCE: TURNING AND RUNNING NORTHEASTERLY BY LAND NOW OR FORMERLY OF SAID COLVIN ONE HUNDRED EIGHTY-THREE (183) FEET TO SAID WESTERLY LINE OF LAGRANGE STREET, SAID POINT BEING SOUTHEASTERLY 232 FEET, MORE OR LESS, FROM THE INTERSECTION OF THE SOUTHERLY LINE OF BEACON STREET AND THE WESTERLY LINE

THENCE: SOUTH 34° 15' FAST. SAID WESTERLY LINE OF LAGRANGE STREET SEVENTY AND SEVENTY-TENTHS (70.7) FEET TO THE POINT OF BEGINNING

TRACT V:

THE LAND SITUATED ON LAGRANGE STREET, WORCESTER, WORCESTER COUNTY, MASSACHUSETTS, BOUNDED AND DESCRIBED AS

BEGINNING: AT A POINT LOCATED AT THE MOST NORTHERLY CORNER OF LOT 4A, SITUATED TO THE REAR OF BEACON STREET, SAID POINT BEING LOCATED ON THE SOUTHWESTERLY SIDE OF LAGRANGE STREET AND BEING ABOUT NINETY- NINE AND SIXTY-FIVE HUNDREDTHS (99.65) FEET SOUTHEASTERLY FROM THE INTERSECTION OF THE SOUTHEASTERLY LINE OF BEACON STREET WITH THE SOUTHWESTERLY LINE OF LAGRANGE STREET:

THENCE: SOUTHWESTERLY BY LAND NOW OR FORMERLY OF LAWRENCE SHER AND IRVING L, SHER AND BY LAND OF SECURITY STORAGE OF WORCESTER, ABOUT ONE HUNDRED AND SEVENTY AND EIGHTY-FIVE HUNDREDTHS (170.85) FEET TO A POINT;

THENCE: SOUTHEASTERLY BY LAND NOW OR FORMERLY OF SECURITY STORAGE OF WORCESTER, ABOUT ONE HUNDRED AND TWENTY-FIVE (125) FEET TO A POINT;

THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF JOSEPH D. KROSOCZKA, ABOUT FIFTY-SEVEN AND EIGHT TENTHS (57.8) FEET TO A POINT:

THENCE: NORTHWESTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT EIGHTY-ONE AND THIRTY-ONE HUNDREDTHS (81.31) FEET TO A POINT;

THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, THIRTY AND SEVENTY-NINE HUNDREDTHS (30.79) FEET TO A POINT

THENCE: NORTHERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT FORTY- SEVEN AND SIX TENTHS (47.6) FEET TO A POINT:

THENCE: NORTHEASTERLY BY LAND NOW OR FORMERLY OF HERBERT ROTHSCHILD AND HENRY ROTHSCHILD, ABOUT FIFTY-SIX AND SIXTY-SEVEN HUNDREDTHS (56.67) FEET TO A POINT;

THENCE: NORTHWESTERLY BY LAGRANGE STREET, ABOUT SEVENTEEN AND ONE TENTH (17.1) FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS ABOUT 9,898 SQUARE FEET OF LAND.

A CERTAIN PARCEL OF LAND WITH THE BUILDINGS THEREON IN SAID CITY OF WORCESTER ON THE WESTERLY SIDE OF

BEGINNING AT THE CENTER OF A DRILL HOLE IN A STONE MONUMENT SET IN THE GROUND IN THE WESTERLY LINE OF LAGRANGE

STREET, SO-CALLED, AND AT LAND NOW OR LATE OF THE HAT-WOOD AND QUINCY MANUFACTURING COMPANY; THENCE NORTH 34 1/4° WEST BY THE SAID LINE OF LAGRANGE STREET SEVENTY (70) FEET TO THE CENTER OF A DRILL HOLE IN A

THENCE TURNING AND RUNNING SOUTH 58 3/4° WEST BY LAND NOW OR LATE OF SAID ALLEN ONE HUNDRED NINETY-THREE AND

STONE MONUMENT SET IN THE GROUND AT LAND NOW OR LATE OF WILLIAM E. ALLEN;

SIXTY-FIVE HUNDREDTHS (193.65) FEET MORE OR LESS TO A POINT AT LAND NOW OR LATE OF T. H. MURPHY;

THENCE TURNING AND RUNNING SOUTH 28 3/4° EAST BY SAID MURPHY LAND SEVENTY (70) FEET TO LAND NOW OR LATE OF SAID HARWOOD AND QUINCY MANUFACTURING COMPANY;

THENCE TURNING AND RUNNING NORTH 58 3/4° EAST BY LAND NOW OR LATE OF SAID HARWOOD AND QUINCY MANUFACTURING COMPANY ONE HUNDRED NINETY-EIGHT AND SEVENTY-FIVE ONE HUNDREDTHS (198.75) FEET MORE OR LESS TO THE POINT OF

CONTAINING 13,734 SQUARE FEET OF LAND MORE OR LESS,

AND SEVENTY-FIVE HUNDREDTHS (198.75) FEET TO A POINT:

BOSTON AND ALBANY RAILROAD COMPANY, NOW OR FORMERLY:

LAGRANGE STREET, BOUNDED AND DESCRIBED AS FOLLOWS:

REGINNING AT A HOLF DRILLED IN A STONE MONUMENT. SAID MONUMENT BEING AT A CORNER FORMED BY THE NORTHWESTERLY LINE OF LAND OF THE NORWICH AND WORCESTER RAILROAD COMPANY, NOW OR FORMERLY, AND THE SOUTHERLY LINE OF LAGRANGE

THENCE NORTH 34° WEST BY THE SOUTHERLY SIDE OF LAGRANGE STREET NINETY AND (90.05) FEET TO A POINT; THENCE SOUTH 59°

45' WEST BY LAND OF WILLIAM E. ALLEN, NOW OR FORMERLY, ONE HUNDRED NINETY-EIGHT

THENCE SOUTH 28° 45' EAST ABOUT ONE HUNDRED (100) FEET TO A STONE MONUMENT SET IN THE WESTERLY LINE OF LAND OF THE

THENCE NORTH 59° 45' EAST ONE HUNDRED EIGHTY-ONE AND SEVENTY-FIVE HUNDREDTHS (181.75) FEET BY SAID WESTERLY LINE TO A STONE MONUMENT:

THENCE NORTHERLY TWENTY-SIX AND FIVE TENTHS (26.5) FEET BY LAND OF NORWICH AND WORCESTER RAILROAD COMPANY, NOW OR FORMERLY TO THE PLACE OF BEGINNING.

AND FURTHER CONVEYING ALL OF ITS RIGHT, TITLE AND INTEREST AS OBTAINED BY ADVERSE POSSESSION BY ORDER OF THE WORCESTER PROBATE COURT ON NOVEMBER 25, 1968 IN DOCKET NO. E8E0381, THE FOLLOWING PREMISES: BEGINNING AT THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PREMISES AT A POINT ON THE SOUTHWESTERLY LINE OF LAGRANGE STREET AT THE INTERSECTION OF THE EXISTING AND FORMER LINE OF SAID LAGRANGE STREET, SAID POINT BEING

DISTANT SOUTH 51° 39' EAST 22.34' FROM A POINT AT AN ANGLE IN THE EXISTING LINE OF SAID LAGRANGE STREET;

THENCE SOUTH 32° 59' 00" EAST BY THE SOUTHWESTERLY LINE OF THE FORMER LOCATION OF LAGRANGE STREET SIXTY-TWO AND

THENCE NORTH 38° 15'00" EAST BY THE SOUTHEASTERLY LINE OF THE FORMER LOCATION OF LAGRANGE STREET, AND ON THE RANGE OF THE EXISTING SOUTHEASTERLY LINE OF SAID STREET, NINETEEN AND NINETY-NINE HUNDREDTHS (19.99) FEET TO A POINT AT THE

THENCE NORTH 51° 39'00" WEST BY THE SOUTHWESTERLY LINE OF THE EXISTING LOCATION OF SAID STREET, FIFTY- NINE AND FOURTEEN HUNDREDTHS (59.14) FEFT TO THE POINT OF BEGINNING.

CONTAINING 591.06 SQUARE FEET OF LAND, MORE OR LESS.

MOST SOUTHERLY CORNER OF THE EXISTING LOCATION OF SAID STREET:

FORTY-SIX HUNDREDTHS (62.46) FEET TO A POINT AT AN ANGLE IN THE FORMER LOCATION OF SAID STREET

SURVEYOR'S METES AND BOUNDS DESCRIPTION MAP 6, LOTS 1, 4B, 14, 15 & 19 CITY OF WORCESTER WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS

BEGINNING AT A POINT ALONG THE NORTHERLY LINE OF OREAD STREET (PUBLIC - 48' WIDE), SAID POINT BEING SOUTH 38 DEGREES - 10 MINUTES - 49 SECONDS EAST, A DISTANCE OF 80.00 FEET FROM A STONE BOUND WITH DRILL HOLE FOUND AT THE INTERSECTION OF THE NORTHERLY LINE OF OREAD STREET WITH THE SOUTHERLY

LINE OF BEACON STREET (PUBLIC - 40' WIDE), THENCE; DEPARTING SAID NORTHERLY LINE, RUNNING ALONG THE DIVIDING LINE WITH MAP 6, LOT 16 (N/F HABITAT FOR HUMANITY METROWEST/GREATER WORCESTER, INC.) NORTH 51 DEGREES - 49 MINUTES - 11 SECONDS

EAST. A DISTANCE OF 100.00 FEET. THENCE: ALONG THE DIVIDING LINE WITH MAP 6, LOT 17 (N/F MARIA L. FRANCESCHI), SOUTH 38 DEGREES - 10 MINUTES

- 49 SECONDS EAST, A DISTANCE OF 22.50 FEET, THENCE; CONTINUING ALONG THE DIVIDING LINE WITH SAID LOT 17, AND MAP 6, LOTS 5 & 6 (N/F IGLESIA CRISTIANA DE

LA COMUNIDAD), NORTH 44 DEGREES - 43 MINUTES - 13 SECONDS EAST, A DISTANCE OF 219.98 FEET TO A POINT ALONG THE SOUTHERLY LINE OF LAGRANGE STREET (PUBLIC - VARIABLE WIDTH), THENCE; 4. ALONG SAID SOUTHERLY LINE, SOUTH 42 DEGREES - 35 MINUTES - 21 SECONDS EAST, A DISTANCE OF 182.73

FEET. THENCE: CONTINUING ALONG SAID SOUTHERLY LINE, SOUTH 42 DEGREEES - 20 MINUTES - 21 SECONDS EAST, A

DISTANCE OF 95.52 FEET, THENCE; CONTINUING ALONG SAID SOUTHERLY LINE, SOUTH 62 DEGREES - 15 MINUTES - 51 SECONDS EAST, A

DISTANCE OF 81.69 FEET. THENCE: DEPARTING SAID SOUTHERLY LINE, ALONG THE DIVIDING LINE WITH LANDS NOW OR FORMERLY OF CSX TRANSPORTATION, SOUTH 27 DEGREES - 38 MINUTES - 09 SECONDS WEST, A DISTNACE OF 19.99 FEET,

SOUTH 28 DEGREES - 32 MINUTES - 03 SECONDS WEST, A DISTANCE OF 26.50 FEET, THENCE; SOUTH 50 DEGREES - 09 MINUTES - 09 SECONDS WEST, A DISTANCE OF 182.64 FEET. THENCE:

FEET TO THE POINT AND PLACE OF BEGINNING.

OF BEGINNING.

ALONG THE DIVIDING LINE WITH MAP 6, LOT 21 + 23 (N/F JULIO ROMERO) NORTH 38 DEGREES - 20 MINUTES - 51 SECONDS WEST, A DISTANCE OF 99.65 FEET, THENCE;

ALONG THE DIVIDING LINE WITH MAP 6, LOT 13 (N/F MARTHA ROGELIA MONZON) AND MAP 6, LOT 22 (N/F JOSE A. GRAJALES) NORTH 37 DEGREES - 20 MINUTES - 51 SECONDS WEST, A DISTANCE OF 76.52 FEET, THENCE;

CONTINUING ALONG THE DIVIDING LINE WITH MAP 6, LOT 22, SOUTH 49 DEGREES - 57 MINUTES - 07 SECONDS WEST, A DISTANCE OF 148.36 FEET TO A POINT ALONG THE NORTHERLY LINE OF OREAD STREET, THENCE; ALONG SAID NORTHERLY LINE, NORTH 38 DEGREES - 10 MINUTES - 49 SECONDS WEST, A DISTANCE OF 200.00

CONTAINING 96,564 SQUARE FEET OR 2.217 ACRES.

SURVEYOR'S METES AND BOUNDS DESCRIPTION MAP 3. LOTS 1 & 5 CITY OF WORCESTER

WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS BEGINNING AT A POINT ALONG THE SOUTHERLY LINE OF JACKSON STREET (PUBLIC - VARIABLE WIDTH), SAID POINT BEING NORTH 46 DEGREES - 02 MINUTES - 51 SECONDS WEST, A DISTANCE OF 76.92 FEET FROM THE INTERSECTION OF SAID SOUTHERLY LINE OF JACKSON STREET AND THE NORTHERLY LINE OF LAGRANGE STREET (PUBLIC -

VARIABLE WIDTH) THENCE: 1. ALONG SAID SOUTHERLY LINE, SOUTH 46 DEGREES - 02 MINUTES - 51 SECONDS WEST, A DISTANCE OF 76.92

FEET, THENCE ALONG THE NORTHERLY LINE OF LAGRANGE STREET THE FOLLOWING FOUR (4) COURSES; SOUTH 27 DEGREES - 38 MINUTES - 10 SECONDS WEST, A DISTANCE OF 159.92 FEET, THENCE,

SOUTH 27 DEGREES - 38 MINUTES - 09 SECONDS WEST, A DISTANCE OF 212.30 FEET, THENCE; NORTH 62 DEGREES - 15 MINUTES - 51 SECONDS WEST. A DISTANCE OF 40.27 FEET. THENCE:

NORTH 41 DEGREES - 43 MINUTES - 51 SECONDS WEST, A DISTANCE OF 276.00 FEET, THENCE; DEPARTING SAID NORTHERLY LINE, RUNNING ALONG THE DIVIDING LINE WITH MAP 3, LOT 1A (N/F 98 BEACON,

LC), NORTH 44 DEGREES - 10 MINUTES - 16 SECONDS EAST, A DISTANCE OF 112.64 FEET, THENCE; CONTINUING ALONG SAID DIVIDING LINE, NORTH 29 DEGREES - 03 MINUTES - 04 SECONDS EAST, A DISTANCE OF 53.18 FEET, THENCE RUNNING ALONG THE DIVIDING LINE WITH MAP 3, LOT 2 (N/F BRADY SULLIVAN

WORCESTER PROPERTIES, LLC), THE FOLLOWING THREE (3) COURSES: SOUTH 63 DEGREES - 50 MINUTES - 55 SECONDS EAST, A DISTANCE OF 99.57 FEET, THENCE; SOUTH 62 DEGREES - 52 MINUTES - 51 SECONDS EAST, A DISTANCE OF 69.17 FEET, THENCE;

CONTAINING 72,215 SQUARE FEET OR 1.658 ACRES.

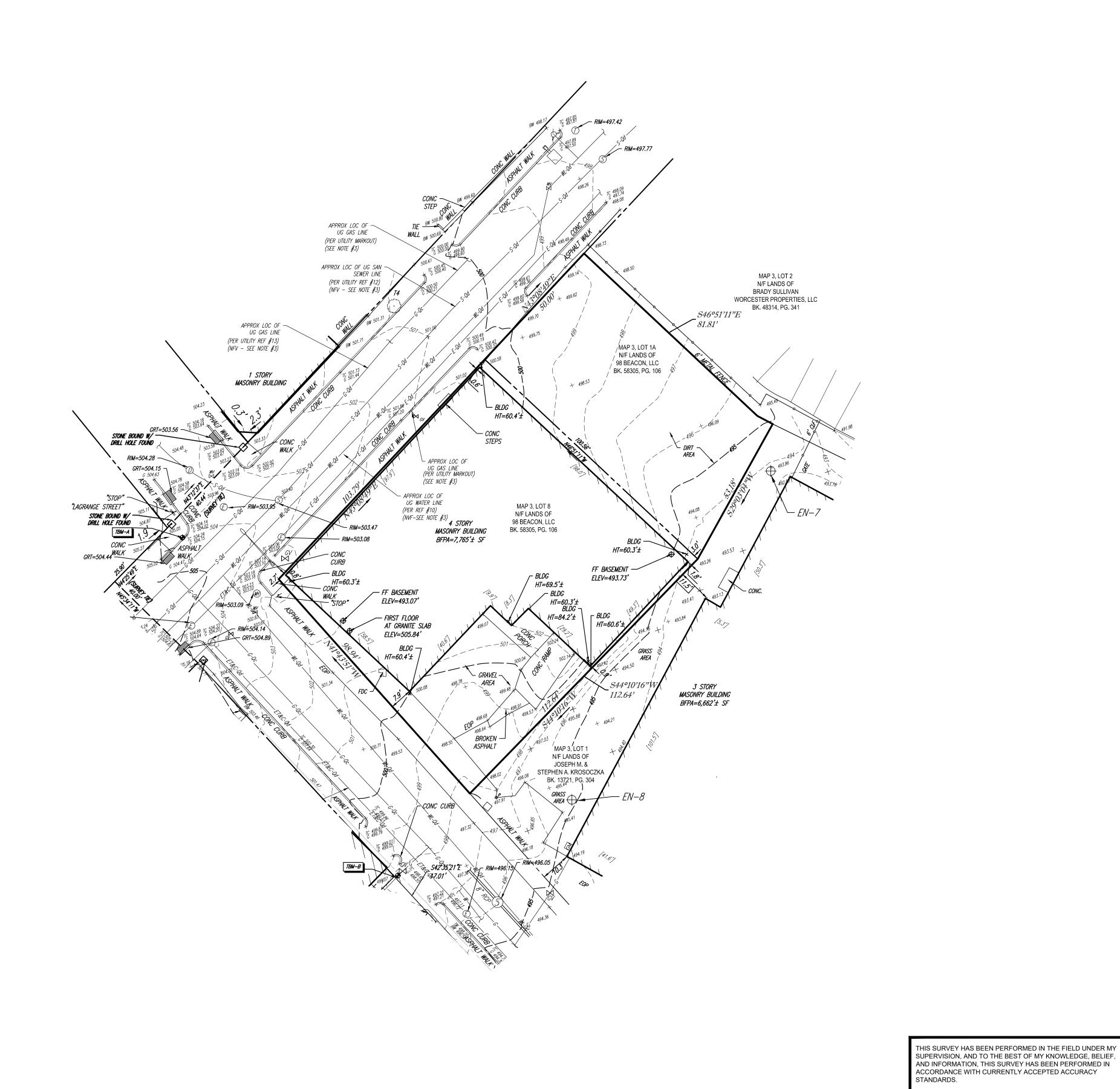
NORTH 37 DEGREES - 22 MINUTES - 09 SECONDS EAST, A DISTANCE OF 134.08 FEET TO THE POINT AND PLACE

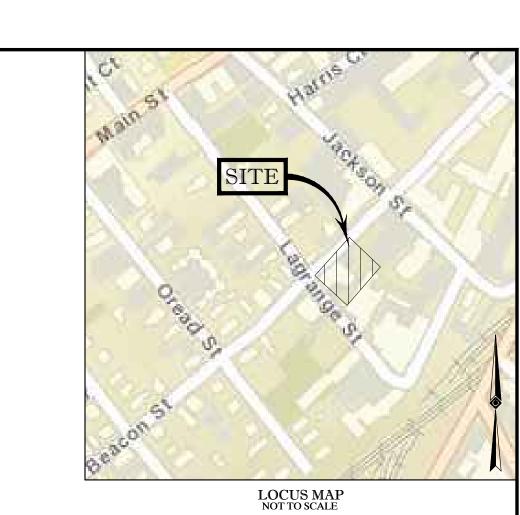
REVISED PER CLIENT COMMENTS R.J.K. G.L.H. 7-23-2021 FINISHED FLOOR ELEVATIONS ADDED J.D.O. R.J.K. G.L.H. 4-28-2021 DESCRIPTION OF REVISION FIELD CREW | DRAWN: | APPROVED: | DATE ALTA/NSPS LAND TITLE SURVEY FIELD DATE THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE WORCESTER LAGRANGE MM LLC "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR 0 LAGRANGE STREET, MAP 6, LOT 4B ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND LAGRANGE STREET. MAP 3. LOT 1 ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(b), 2 LAGRANGE STREET, MAP 6, LOT 19 7(a), 7(b)(1),8,9,11,13 OF TABLE A THEREOF. THE FIELDWORK WAS 4 LAGRANGE STREET, MAP 6, LOT 1 20-12 COMPLETED ON FEBRUARY 12, 2020. LAGRANGE STREET, MAP 3, LOT 5 LAGRANGE STREET, MAP 6, LOT 14 NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED 7 OREAD STREET, MAP 6, LOT 15 SITY OF WORCESTER, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS FIELD BOOK PG WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL 149-155 FIELD CREW CONTROL POINT ALBANY, NY 518-217-5010 J.D.O. CHALFONT, PA 215-712-980 ASSOCIATES, INC. HAUPPAUGE, NY 631-580-2649 352 TURNPIKE ROAD MANHATTAN, NY 646-780-04 SOUTHBOROUGH, MA 01772 MT LAUREL, NJ 609-857-209 508.948.3000 - 508.948.3003 FAX WARREN, NJ 908-668-009 REVIEWED: PPROVED: DWG. NO. E.LOC 2-15-2021 03-200183 G.L.H. N/A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

BORING LOCATIONS ADDED

S.G. E.LOC G.L.H. 11-22-202

BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO STURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.





NOTES

- 1. PROPERTY KNOWN AS LOTS 1A & 8, AS SHOWN ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS; MAP NO. 3.
- 2. AREA: MAP 3, LOT 8 = 10,777 SQUARE FEET OR 0.247 ACRES
 MAP 3, LOT 1A = 4,719 SQUARE FEET OR 0.108 ACRES
 TOTAL AREA= 15,496 SQUARE FEET OR 0.355 ACRES
- 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
 - QUALITY LEVEL D UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
 - QUALITY LEVEL C LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
 - QUALITY LEVEL B UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
 - QUALITY LEVEL A HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED
- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.

UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

- 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS
 OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD
 SURVEY.
- TEMPORARY BENCH MARKS SET:

 TBM-A: MAG NAIL SET IN ASPHALT SIDEWALK ON NORTHERLY SIDE OF BEACON STREET.

 ELEVATION = 504.31'
 - TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT ROADWAY. ELEVATION = 498.72'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- 8. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

REFERENCES:

- 1. THE TAX ASSESSOR'S MAPS OF WORCESTER, WORCESTER COUNTY, MAPS 3 AND 6.
- 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 628 OF 1075," COMMUNITY-PANEL NUMBER 25027C0618E, EFFECTIVE DATE: JULY 4, 2011.
- 3. MAP ENTITLED "PLAN OF THE WORCESTER MACHINE SCREW CO'S PROPERTY, WORCESTER MASS, 1920," PREPARED BY HERBERT A. PRATT, CIVIL ENGINEER, DATED: 1920, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 34, PAGE 47.
- 4. MAP ENTITLED "PLAN TO ESTABLISH PROPERTY LINE IN WORCESTER, MASS. BETWEEN AXEL P. SWANSTROM ETUX AND LAWRENCE J. WOODS," PREPARED BY FRANCIS B. THOMPSON, DATED: OCTOBER 14, 1953, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 193, PAGE 67.
- 5. MAP ENTITLED "LAND IN WORCESTER, MA OWNED BY JOSEPH M. & STEPHEN A. KROSOCZKA TO BE CONVEYED TO HERBERT ROTHSCHILD," PREPARED BY WILLIAM B. NIEMITZ, R.P.L.S., DATED: OCTOBER 19, 1993, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 678, PAGE 70.
- 6. MAP ENTITLED "JACKSON STREET 1853," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED DECEMBER 8, 1928. FILE NO. H-11 6968.
- 7. MAP ENTITLED "BEACON STREET," PREPARED BY THE CITY OF WORCESTER BUREAU OF ENGINEERING, DEPARTMENT OF PUBLIC WORKS. FILE NO. H-9402, 3 OF 3 SHEETS.
- 8. MAP ENTITLED "OREAD STREET 1870," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED JULY 17, 1928. FILE NO. H-15 6748.
- 9. MAP ENTITLED "LAGRANGE STREET 1895," PREPARED BY THE CITY OF WORCESTER ENGINEERING DEPARTMENT, DATED JANUARY, 1929. FILE NO. H-3 1493.
- 10. UNDERGROUND WATER FACILITY MAPPING PROVIDED BY CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS
- 11. UNDERGROUND ELECTRIC FACILITY MAPPING PROVIDED BY NATIONAL GRID.
- 12. UNDERGROUND SEWER FACILITY MAPPING PROVIDED BY THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS
- 13. UNDERGROUND GAS FACILITY MAPPING PROVIDED BY EVERSOURCE GAS.

 1 ADDED FINISHED FLOOR ELEVATION AND BASEMENT ELEVATION SW SC GLH 6-30-22

 No. DESCRIPTION OF REVISION FIELD CREW DRAWN: APPROVED: DATE

BOUNDARY & TOPOGRAPHIC SURVEY

SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL	11-08-21 FIELD BOOK NO. 21-MA FIELD BOOK PG. 1-2	96 BEACO LOT 1A, M 98 BEACO LOT 8, MA CITY OF N	ON STREET	k, WORCESTI	ER COUNTY		
6-30-22	S.G. DRAWN: M.R.D.	35 SC	CONTR ASSOC 2 TURNPIKE RO DUTHBOROUG 8.948.3000 - 508	I A T E S, DAD H, MA 01772	INC. CHAI HAUPP MANHA MTL	.BANY, NY 518- LFONT, PA 215- AUGE, NY 631- ATTAN, NY 646- AUREL, NJ 609- ARREN, NJ 908-	712-980 580-264 780-041 857-209
GERRY L. HOLDRIGHT, PLS MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211	REVIEWED: G.L.H.	APPROVED: G.L.H.	11-16-21	SCALE 1"=20'	FILE NO. 03-210480-00	DWG. NO.	1



BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

APPROX. LOC. UNDERGROUND TELEPHONE LINE

STREET LIGHT

SIGN

UC UNDER GROUND

BLDC BUILDING

BFPA BUILDING FOOTPRINT AREA

EOC EDGE OF CONCRETE

EOP EDGE OF PAVEMENT

THH TELEPHONE MANHOLE

DMH DRAINAGE/STORM MANHOLE

EMH ELECTRIC MANHOLE

SMH SANITARY/SEWER MANHOLE

WH UNKNOWN MANHOLE

CB CATCH BASIN OR INLET

HT HEIGHT

GRT GRATE ELEVATION

TREE & TRUNK SIZE

LEGEND

EXISTING SPOT ELEVATION

EXISTING TOP OF CURB ELEVATION

EXISTING TOP OF WALL ELEVATION

EXISTING BOTTOM OF WALL ELEVATION

APPROX. LOC. UNDERGROUND ELECTRIC LINE

APPROX. LOC. UNDERGROUND WATER LINE

APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE

EXISTING CONTOUR

HYDRANT

GAS VALVE

GAS METER

WATER VALVE

× TC 123.45

× TW 123.45

× BW 122.95

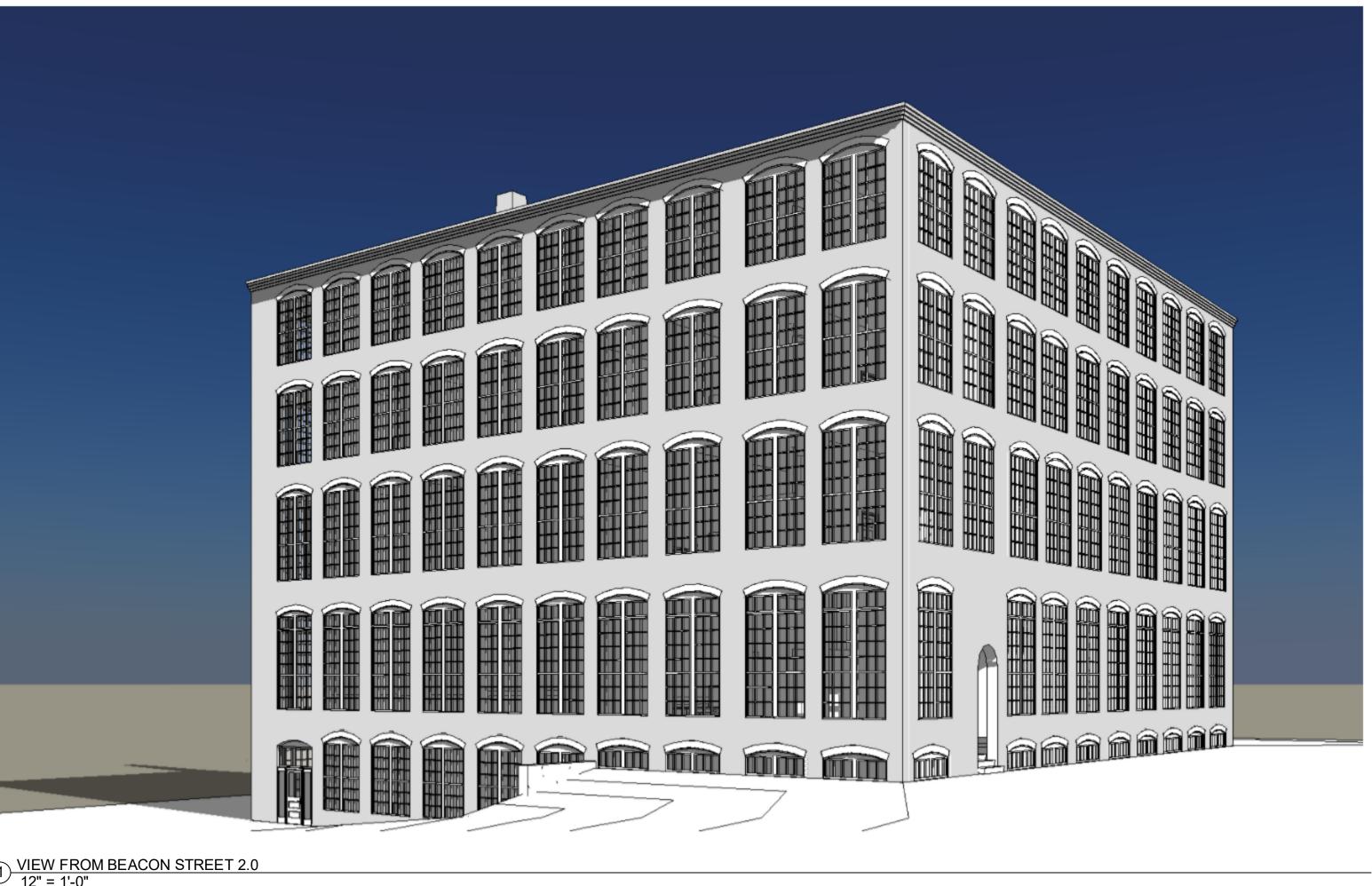
THEREOF, FOR OTHER THAN THE OR N PERMISSION OF CONTROL POINT A

DSE ORIGINALLY INTENDED, WITHC

98 BEACON

98 BEACON STREET WORCESTER MA





1 VIEW FROM BEACON STREET 2.0 12" = 1'-0"

CIVICO

98 BEACON

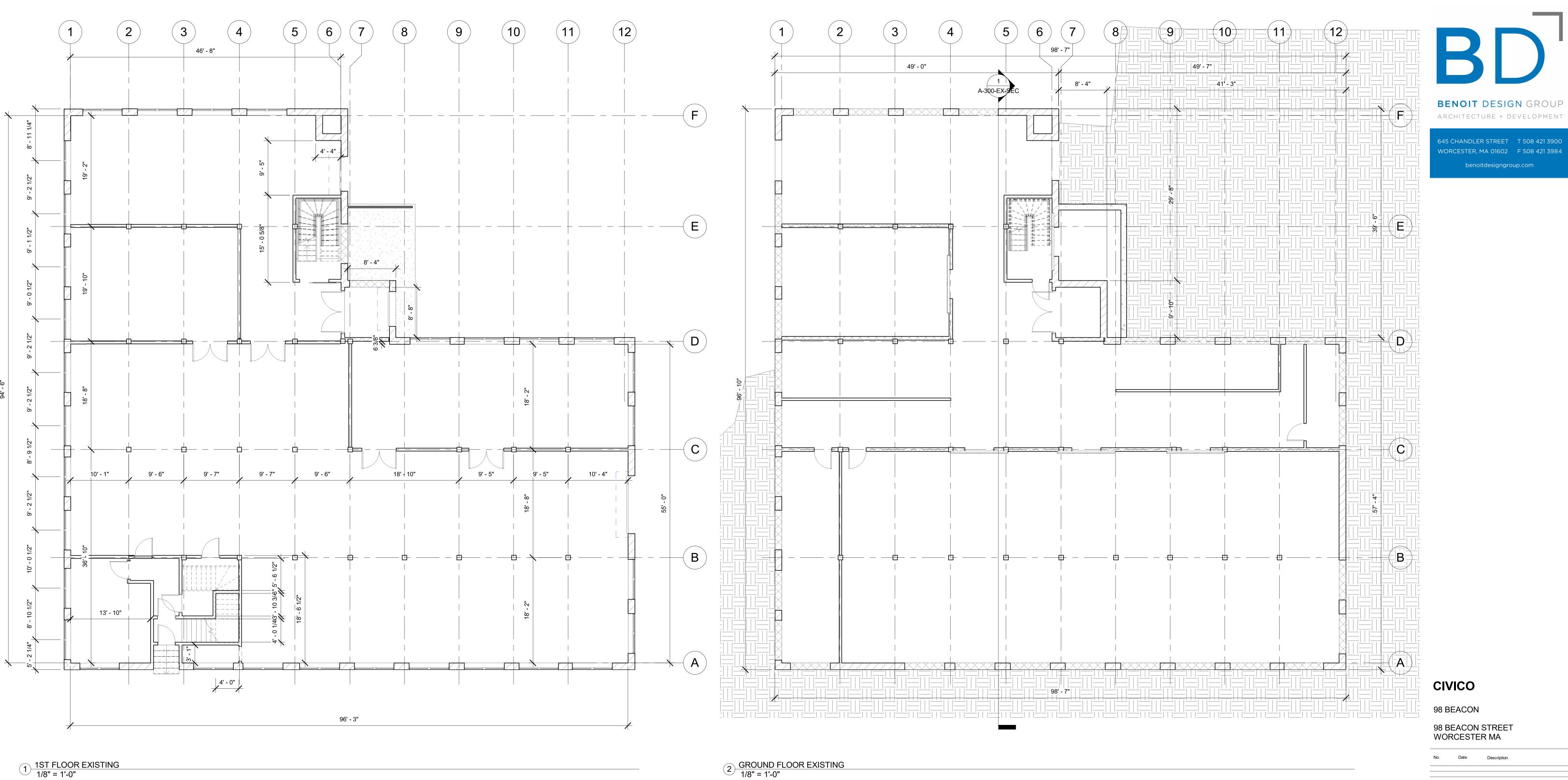
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TITLE SHEET

A-000-T



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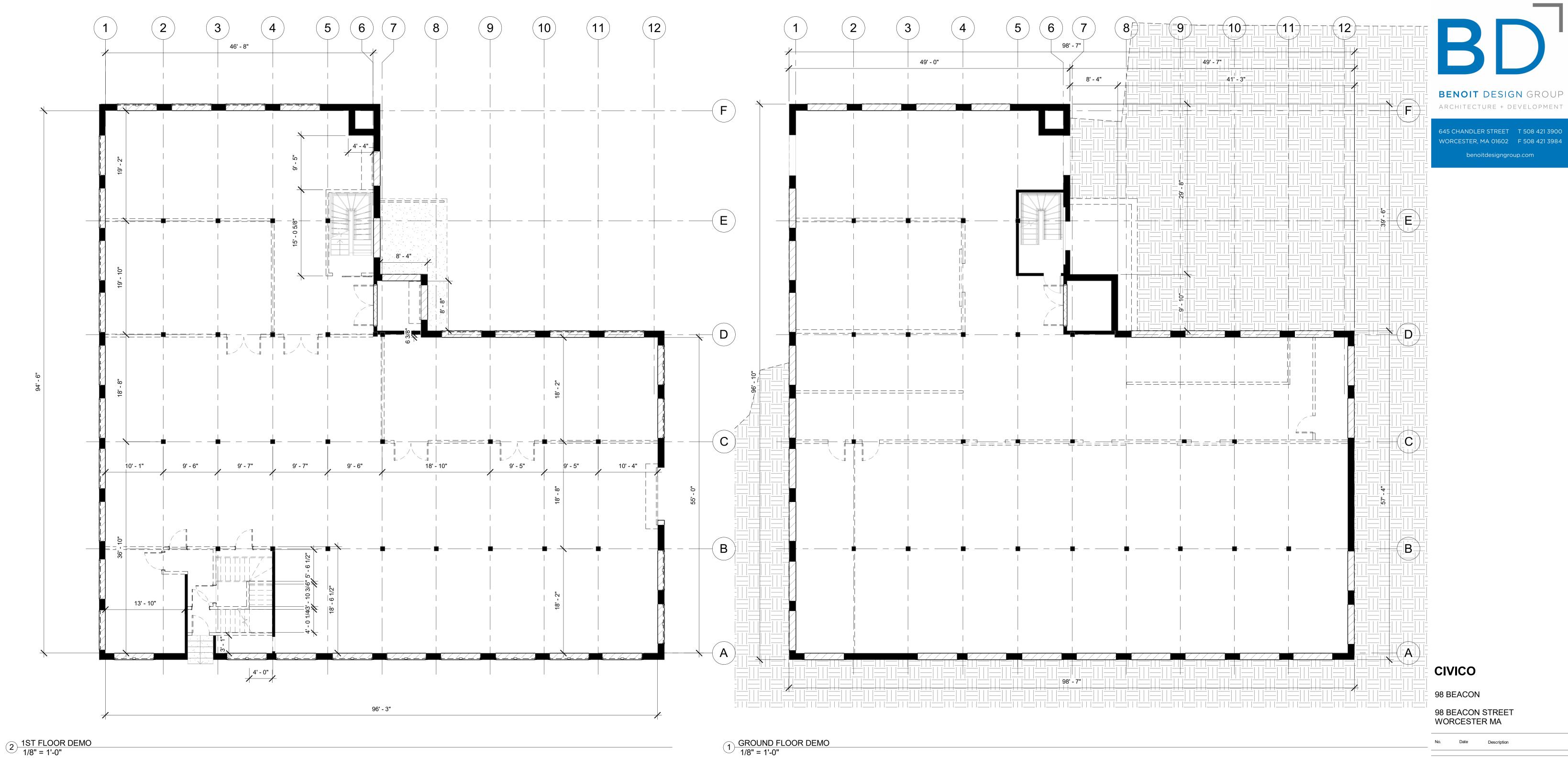
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> GROUND/1ST **FLOOR-EXISTING**

1/8" = 1'-0"

A-100-EX

SCALE



98 BEACON STREET

No. Date Description

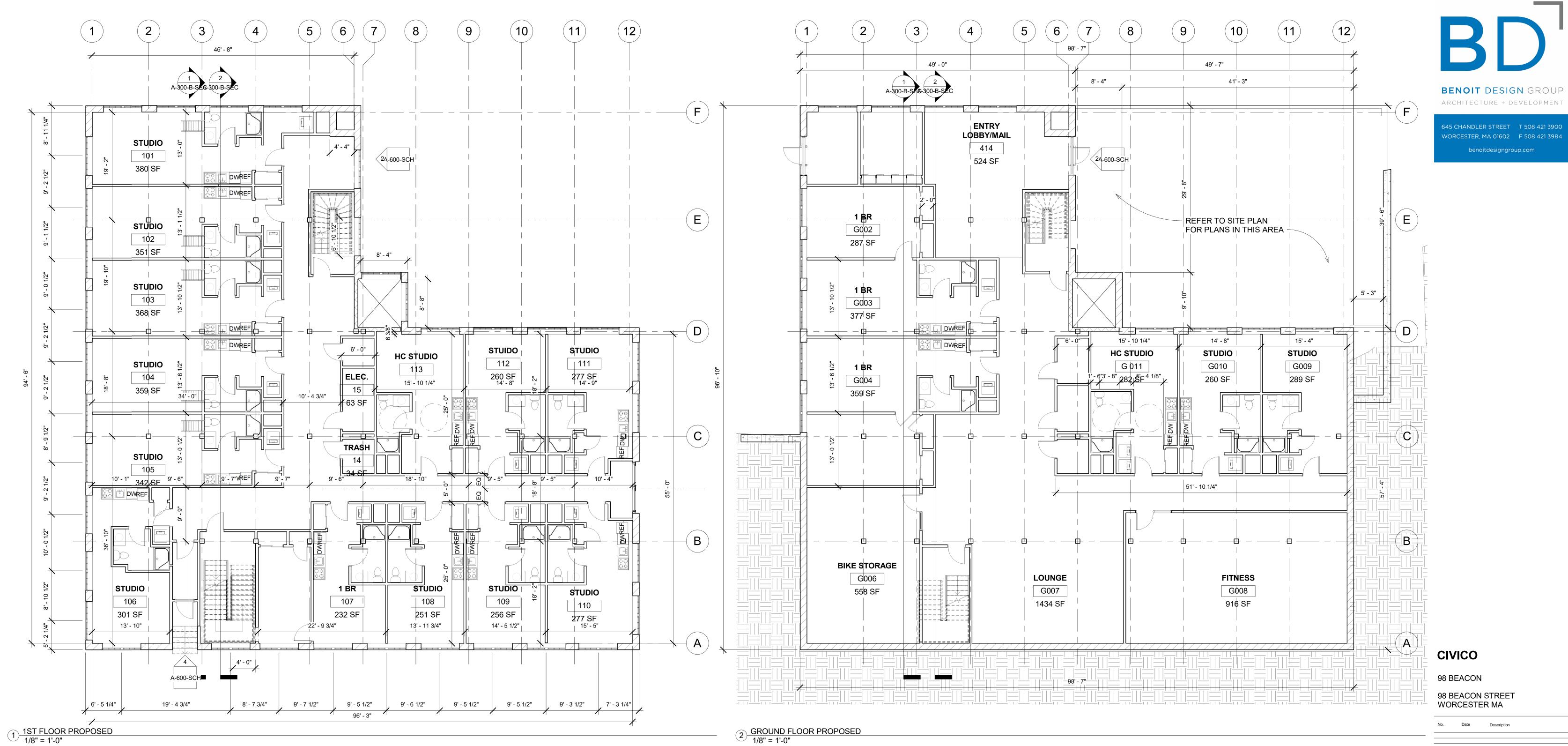
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PROJECT DRAWN Author CHECKED BY Checker DATE 1.21.2020 SCALE 1/8" = 1'-0"

> **GROUND/1ST FLOOR-DEMO**

A-100-D



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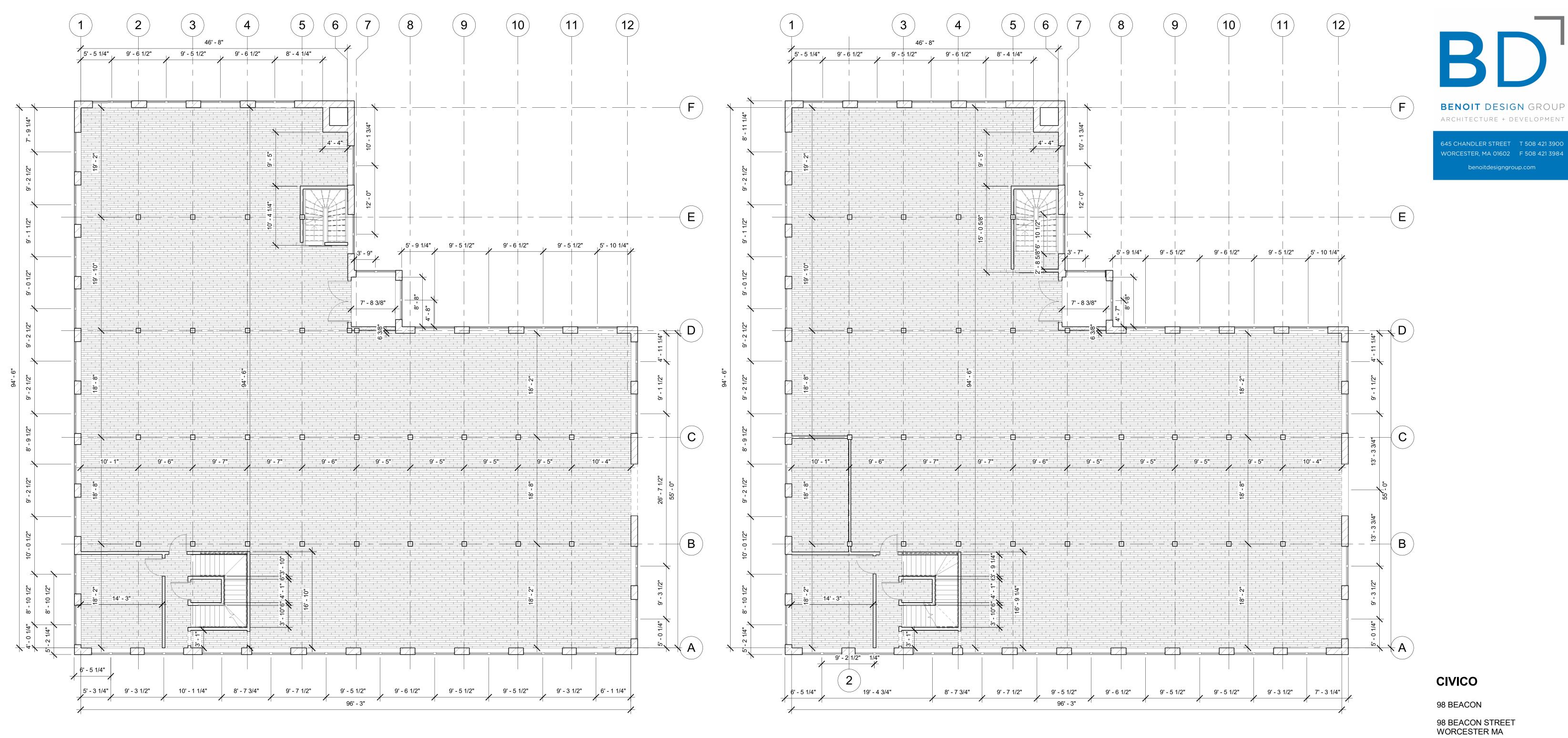
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GROUND/1ST FLOOR-PROPOSED

1/8" = 1'-0"

A-100-PR

SCALE



1/8" = 1'-0"

2 3RD FLOOR EXISTING 1/8" = 1'-0"

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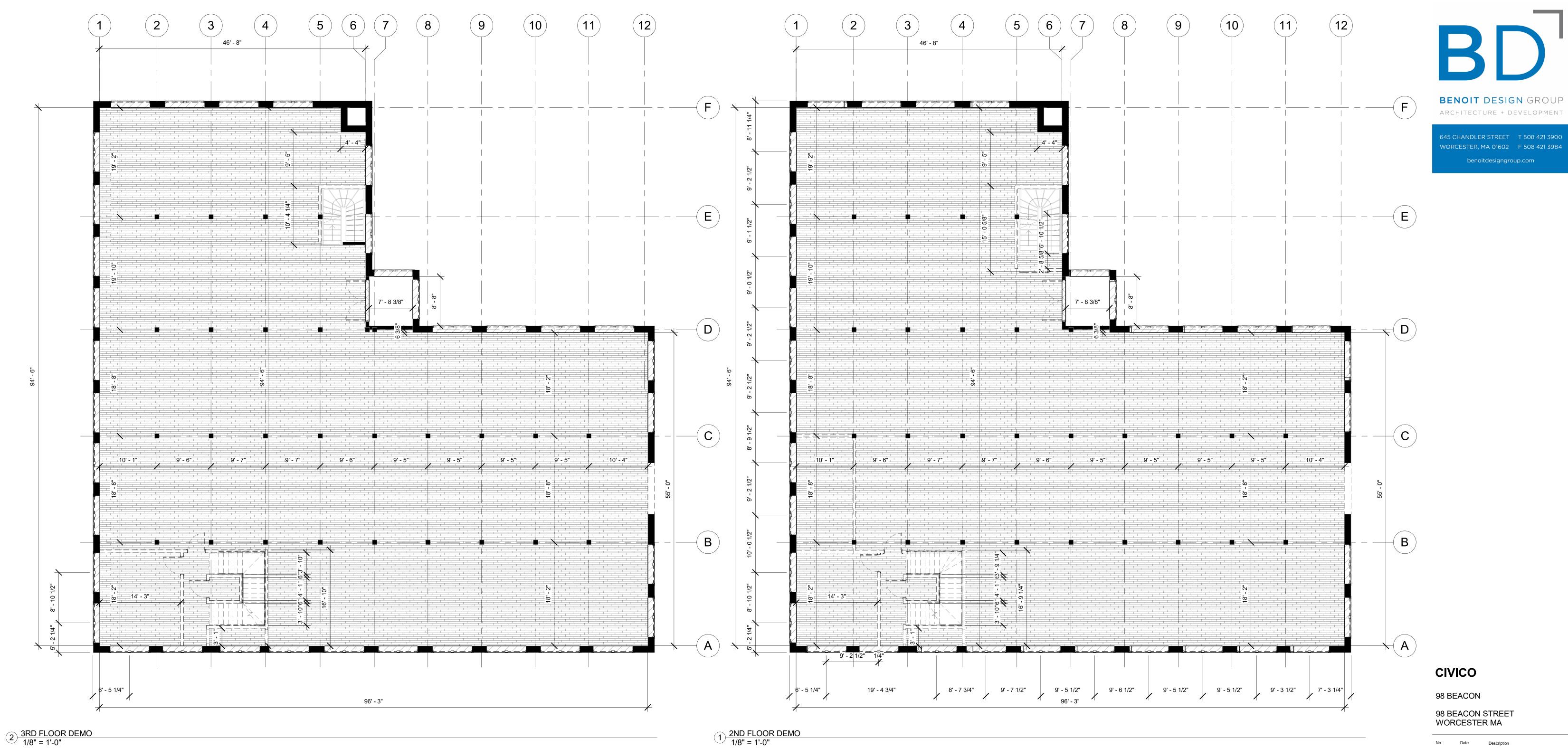
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PROJECT DRAWN Author CHECKED BY Checker DATE 1.21.2020 SCALE 1/8" = 1'-0"

2ND/3RD **FLOOR-EXISTING**

A-101-EX



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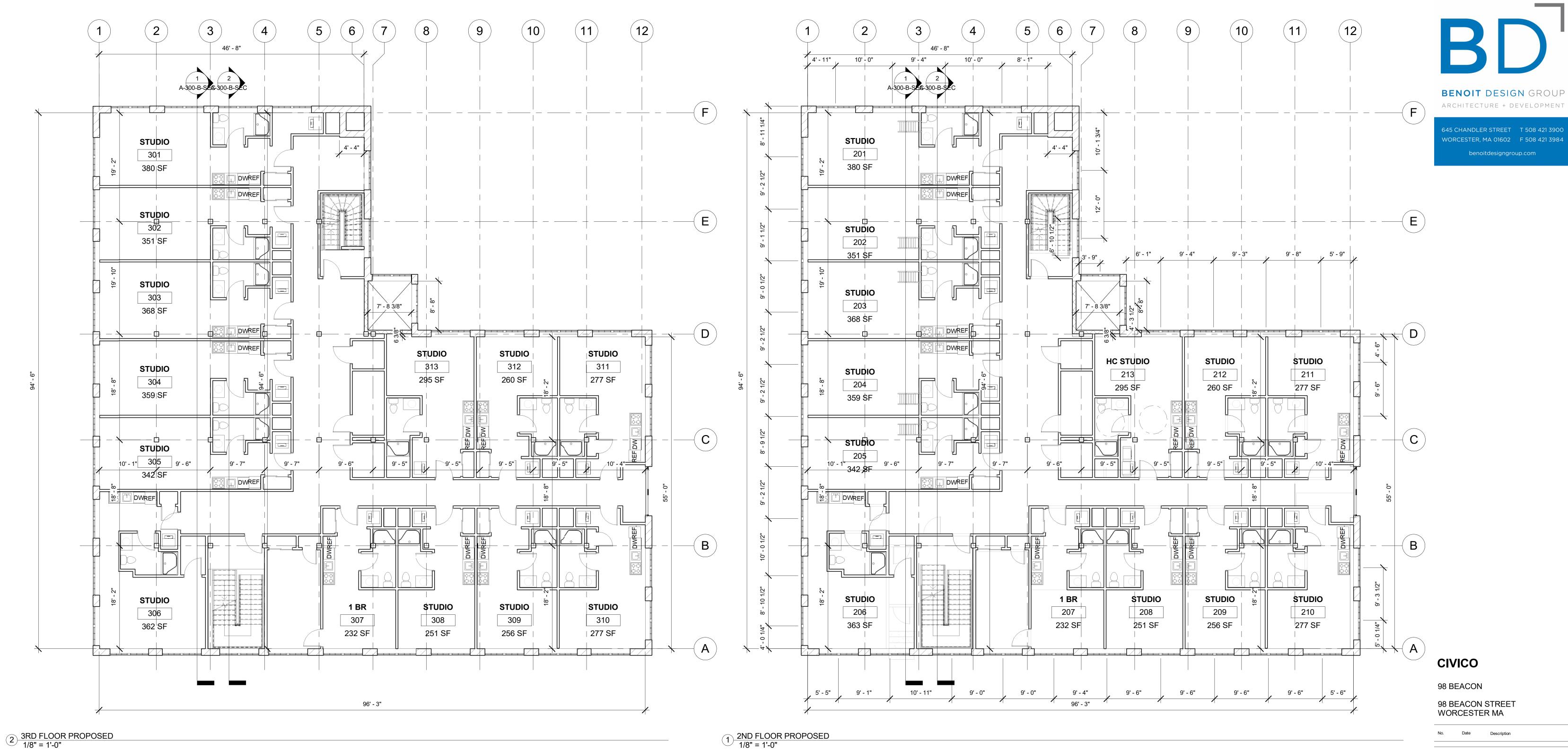
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> 2ND/3RD FLOOR-DEMO

A-101-D



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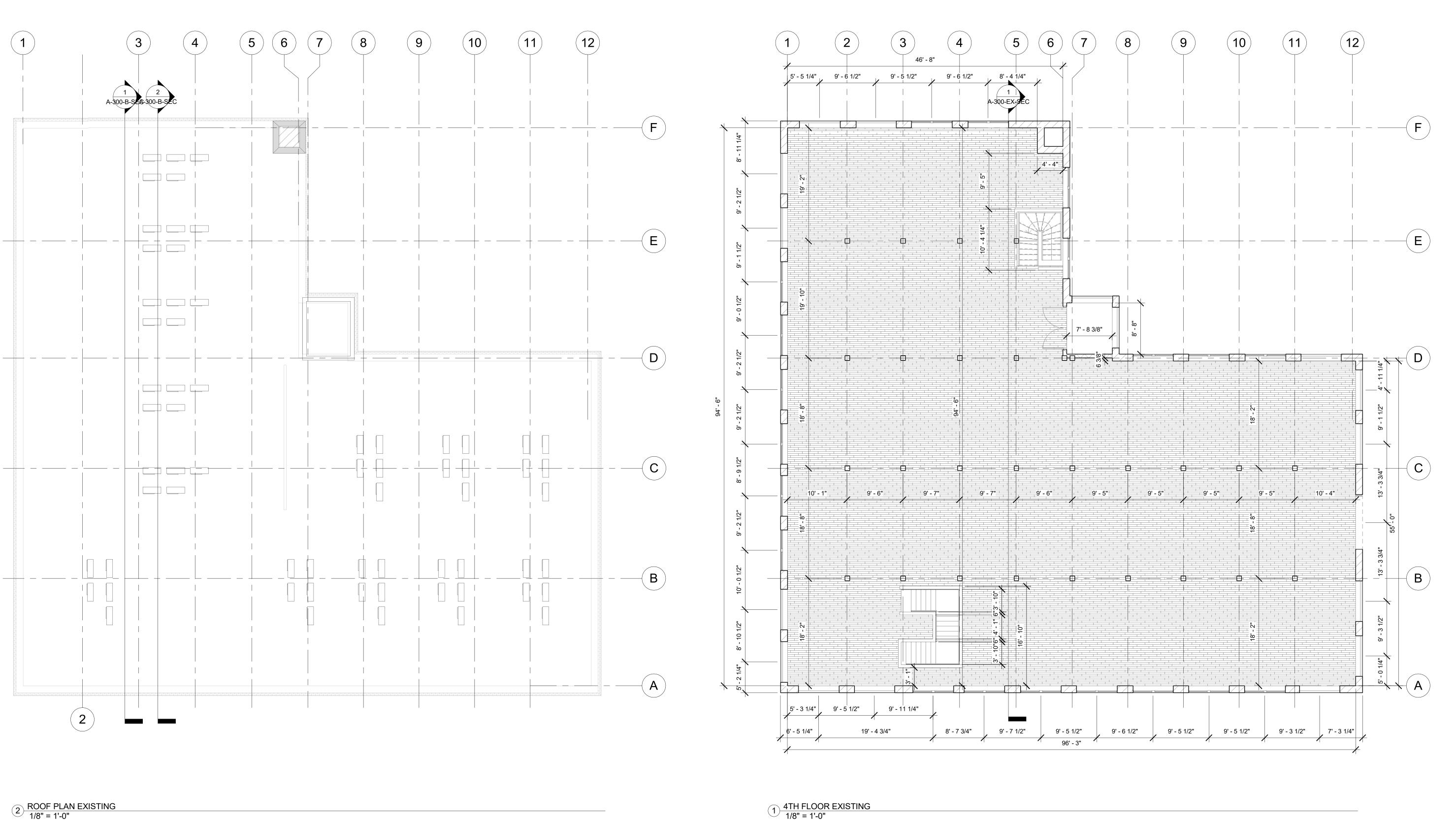
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2ND/3RD **FLOOR-PROPOSED**

1/8" = 1'-0"

A-101-PR

SCALE



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ARCHITECTURE + DEVELOPMENT

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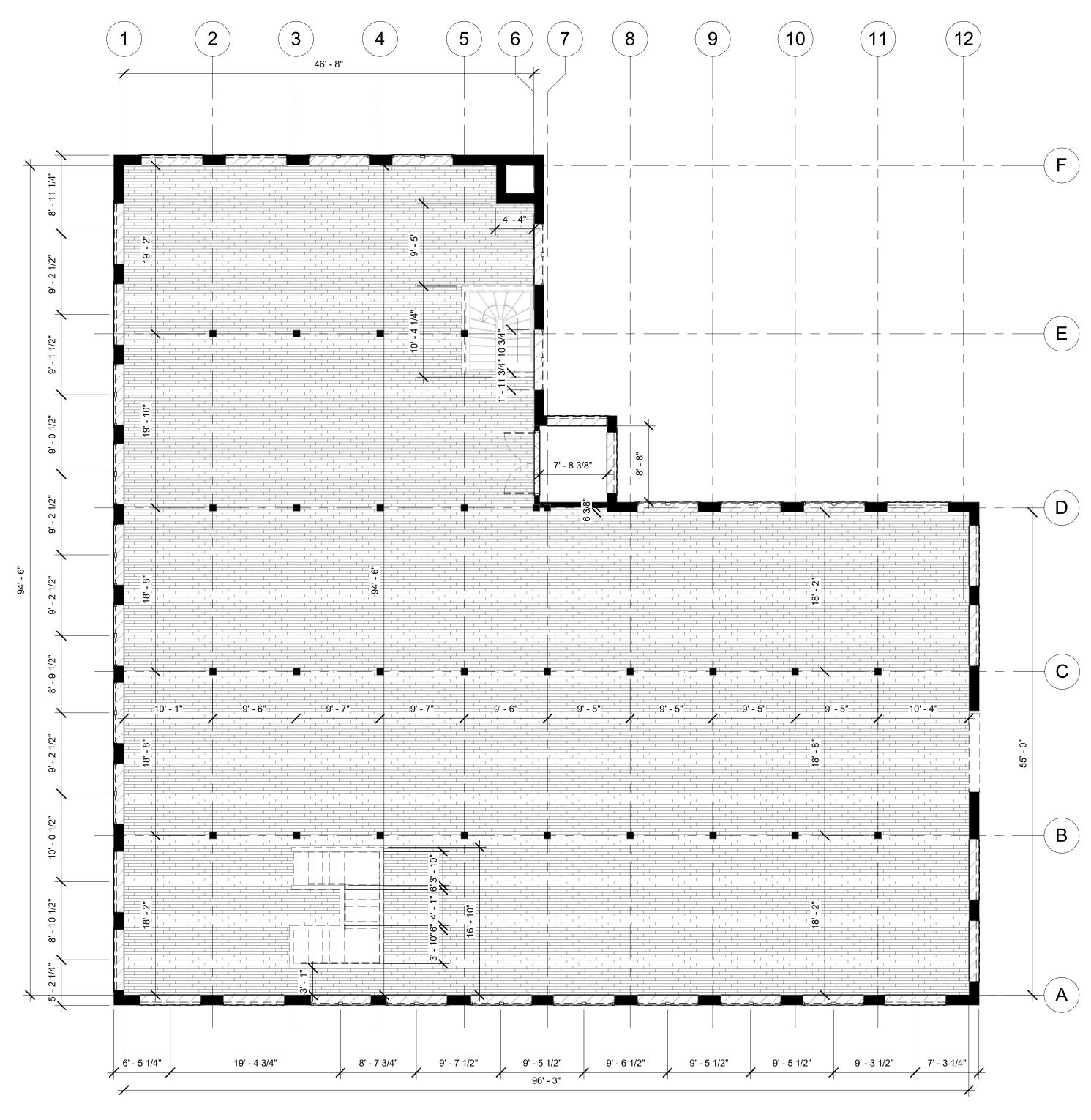
 SCALE
 1/8" = 1'-0"

4TH/ROOF PLAN-EXISTING

A-102-EX

Project Status

/15/2024 8:27:25 AM



1 4TH FLOOR DEMO 1/8" = 1'-0"

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DATE 1.21.2020

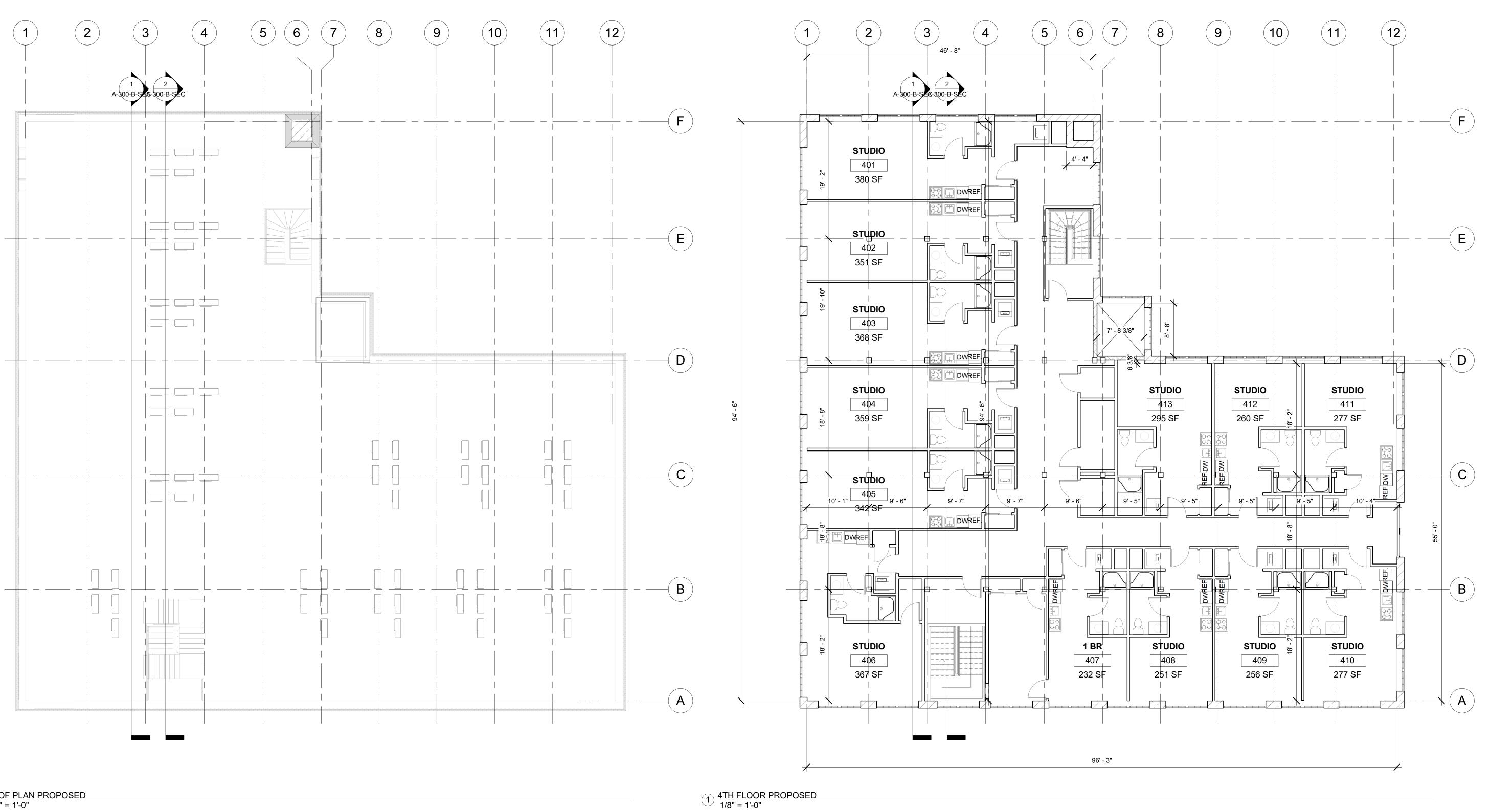
4TH/ROOF PLAN-DEMO

SCALE

A-102-D

Project Status

| 2/15/2024 8:27:31 AM



2 ROOF PLAN PROPOSED 1/8" = 1'-0"

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4TH/ROOF **PLAN-PROPOSED**

A-102-PR





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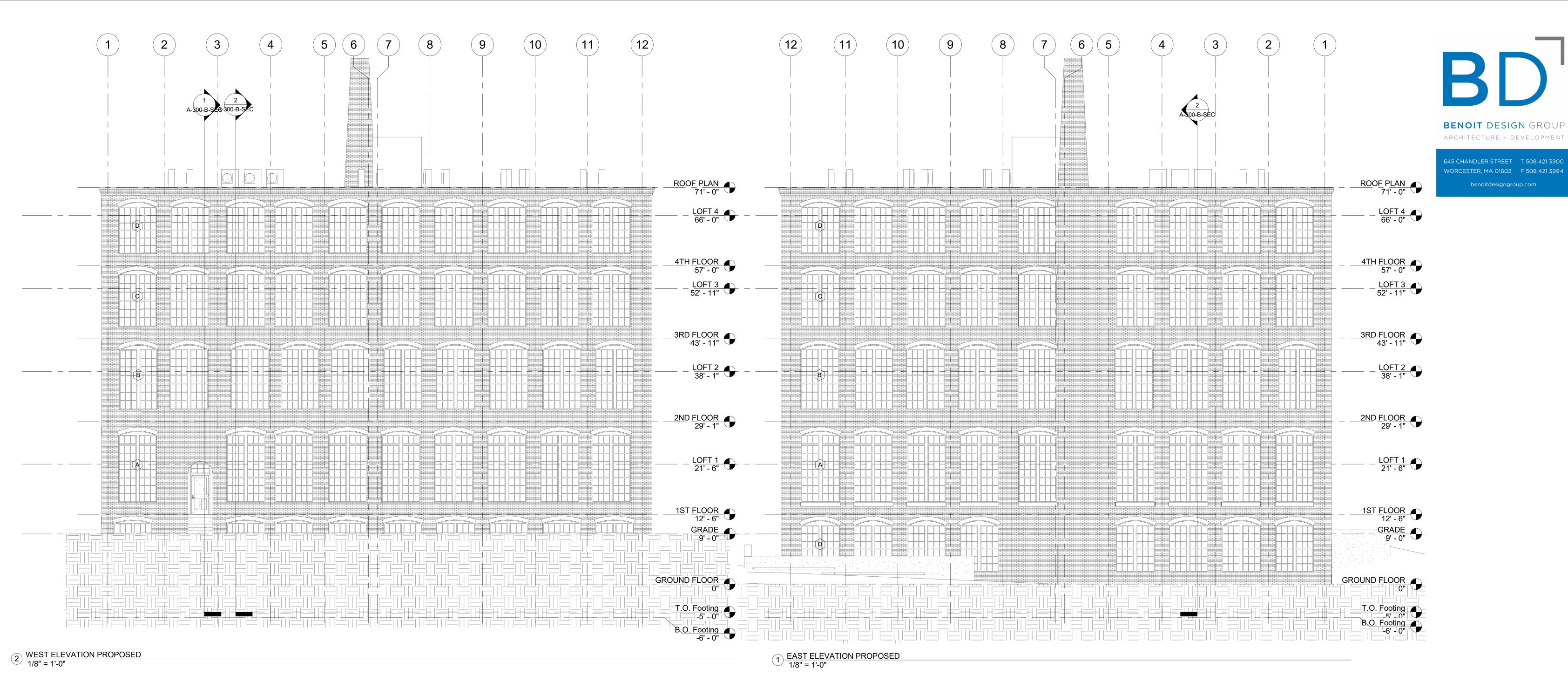
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SCALE	1/8" = 1'-0"

ELEVATIONS-EXISTING

A-200-EX



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 SCALE
 1/8" = 1'-0"

ELEVATIONS-PROPOSED

A-200-PR

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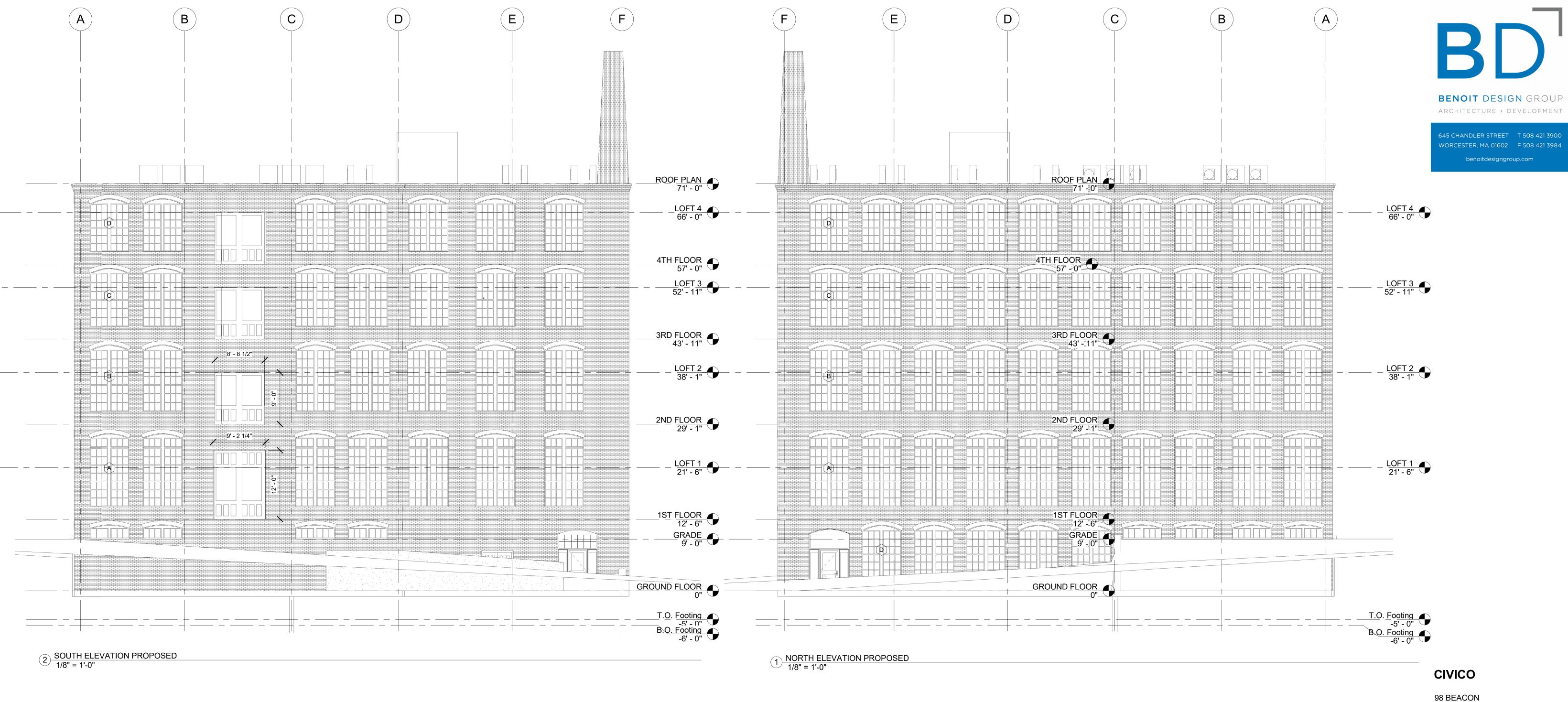
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DATE 1.21.2020 SCALE 1/8" = 1'-0"

Checker

ELEVATIONS-EXISTING

A-201-EX



98 BEACON STREET WORCESTER MA

Date Description

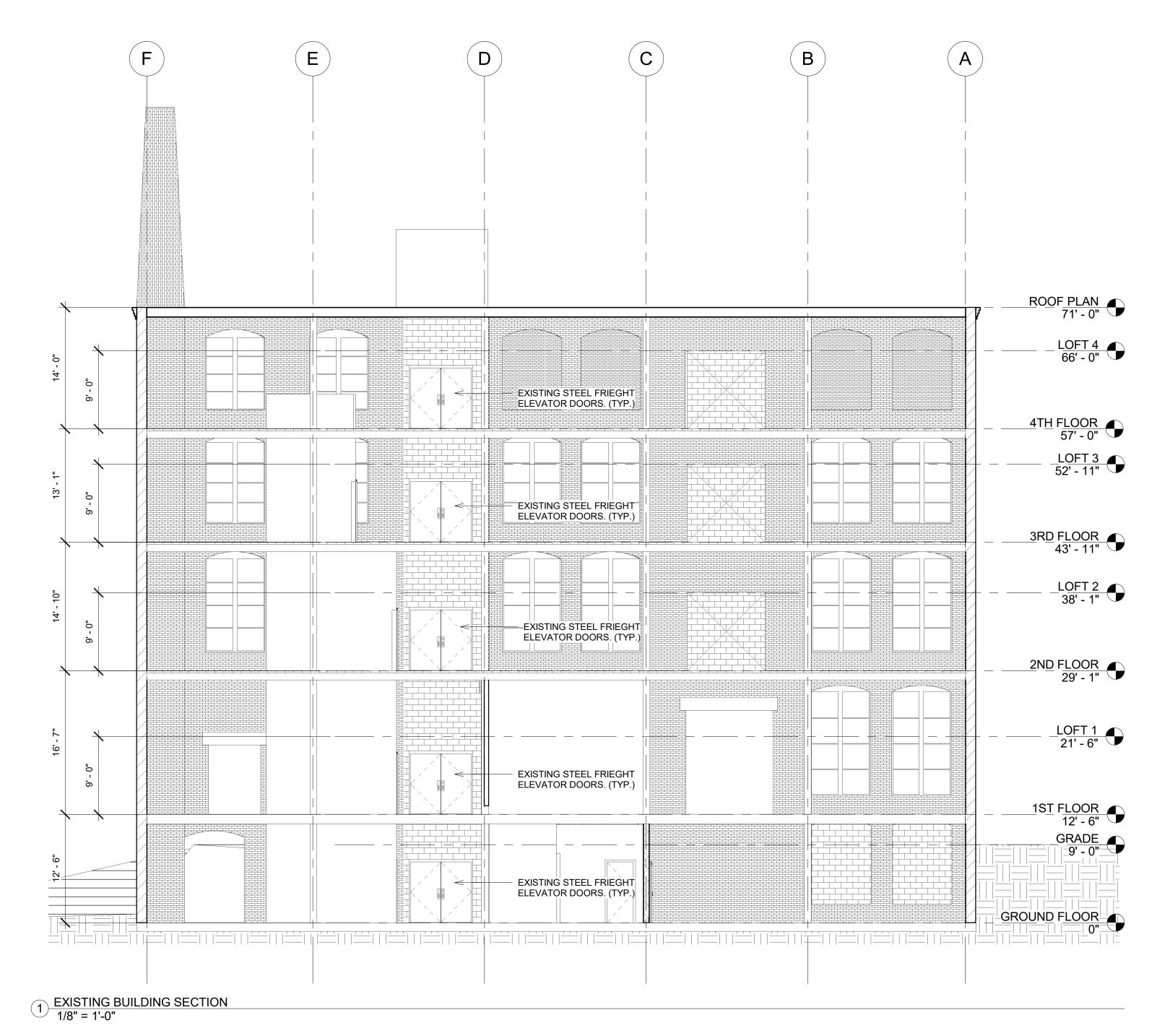
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ELEVATIONS-PROPOSED

1/8" = 1'-0"

A-201-PR





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 SCALE
 1/8" = 1'-0"

EXISTING BUILDING SECTIONS

A-300-EX-SEC

Project Status

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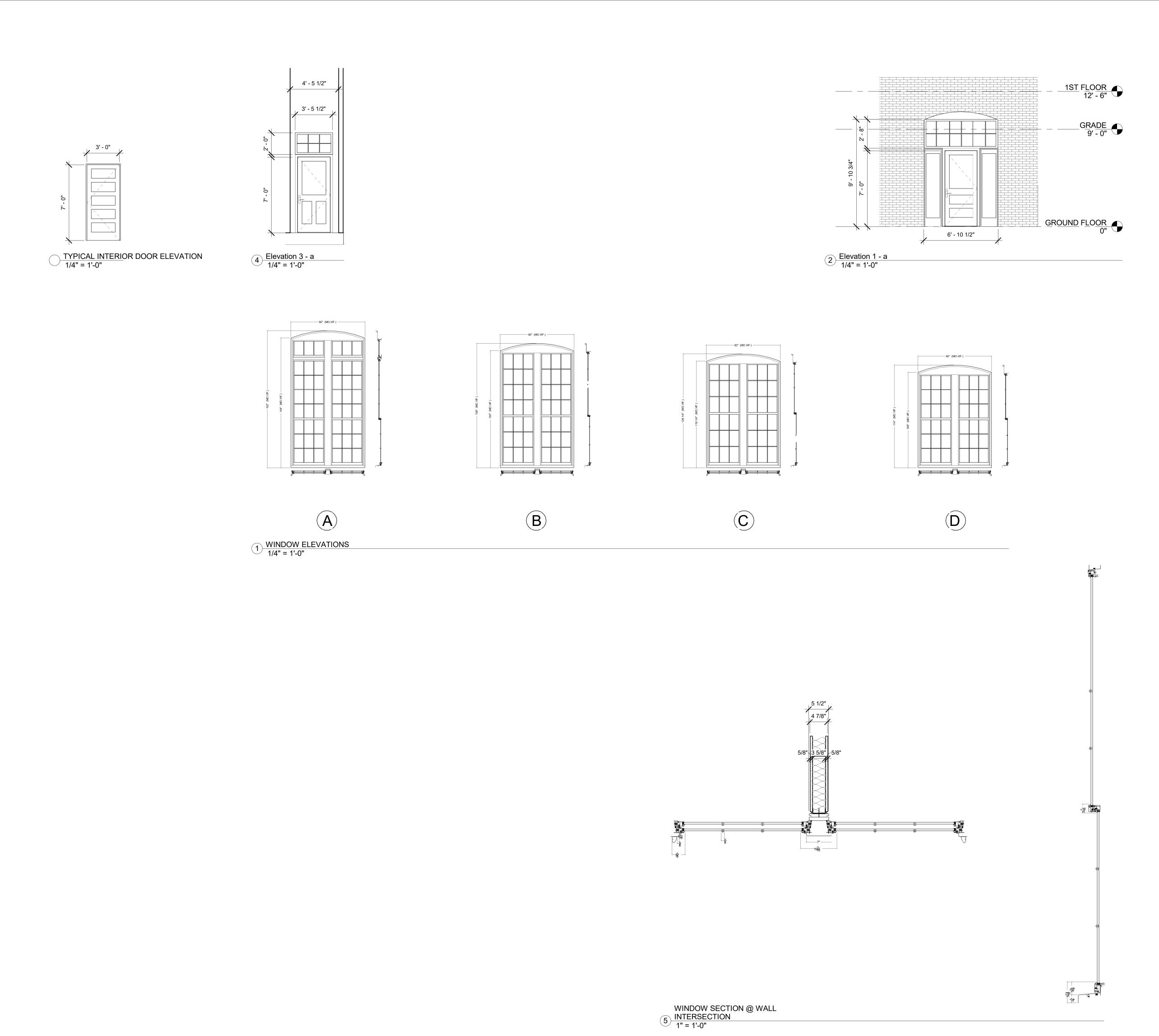
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BUILDING SECTIONS

A-300-B-SEC





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PROJECT Project Number

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DATE 1.21.2020

WINDOW/DOOR SCH.

A-600-SCH

Project Status

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